



**ACME TOWNSHIP BOARD MEETING
ACME TOWNSHIP HALL
6042 Acme Road, Williamsburg MI 49690
Tuesday, May 12, 2015, 7:00 p.m.**

Study session on Sayler Park Boat Launch at 6:15 p.m.

Klaus Heinert, landscape architect/engineer from Gosling Czubak returned for an update on the Sayler Boat launch from the April 7th Board meeting. Board's recommendations discussed at that meeting were: What is cost to add a second boat ramp to Gosling Czubak's design and What is cost to add "tie-ups?" Cost of recommendations for adding a second boat ramp \$100k; adding "tie-ups" \$12.5K. Trustee, Aukerman gave a revised update on Funding plans.

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE AT 7:15 p.m.

Members present: J. Aukerman, A. Jenema, G. LaPointe, P. Scott, D. White, J. Zollinger
Members excused: C. Dye
Staff present: J. Jocks, Legal Counsel
N. Edwardson, Recording Secretary

A. LIMITED PUBLIC COMMENT:

B Kelley, 4893 Ridge Crest Rd, read a prepared statement into record which is attached to the minutes.

B. APPROVAL OF AGENDA:

Motion by LaPointe, seconded by Aukerman to approve the agenda as presented. Motion carried by unanimous vote.

C. INQUIRY AS TO CONFLICTS OF INTEREST: None

D. CONSENT CALENDAR: The purpose is to expedite business by grouping non-controversial items together for one Board motion (roll call vote) without discussion. A request to remove any item for discussion later in the agenda from any member of the Board, staff or public shall be granted.

1. RECEIVE AND FILE:

- a. **Treasurer's Report**
- b. **Clerk's Revenue/Expenditure Report and Balance Sheet**
- c. **Draft Unapproved Meeting Minutes:**
 - 1. **Planning Commission 04/13/15**
- d. **Metro Newsletters March April**
- e. **Parks and Maintenance Report – Henkel**
- f. **Zoning Report - Lennox**
- g. **Grand Traverse County 2015 Equalization Report**
- h. **DEQ, Administrative Consent Order/The Village at Grand Traverse, L.L.C.**

2. APPROVAL:

- 1. **Township Board meeting minutes of 04/07/2015**
- 2. **Accounts Payable Prepaid of \$217,201.30 and Current to be approved of \$57,960.72 (Recommend approval: Cathy Dye, Clerk)**

E. ITEMS REMOVED FROM THE CONSENT CALENDAR:

Jenema asked that the Treasurer's report be removed for clarification to the Board. LaPointe requested the Clerk's Revenue/Expenditure report be removed.

Motion by Jenema, seconded by White to approve the consent calendar with the removal of the Treasurer's Report and the Clerk's Revenue/Expenditure report. Motion carried by unanimous roll call vote.

Motion by LaPointe, seconded by White to approve the Treasurer's report as presented. Motion carried by unanimous roll call vote.

Motion by Jenema, seconded by LaPointe to approve the Clerk's Revenue/Expenditure report as presented. Motion carried by unanimous roll call vote.

F. SPECIAL PRESENTATIONS/DISCUSSIONS: None

G. REPORTS: Received and filed

- 1. Sheriff's Report – Deputy: Ken Chubb**
- 2. County Commissioner's Report - Crawford**
- 3. Road commission report – McKellar**

H. CORRESPONDENCE: None

I. PUBLIC HEARING: None

J. NEW BUSINESS:

- 1. SAD Resolution on contract with GTCRC on SAD bonds & contract for construction costing**

Motion by Jenema, seconded by White to approve Resolution R-2015-15 approving the contract with the Board of County Road commissioners regarding the issuance of the Michigan Transportation fund bonds, Series 2015 for SAD contract for construction costs. Motion carried by unanimous roll call vote.

- 2. Budget Resolution on Tax reserve to General Funds**

Motion by LaPointe, seconded by Jenema to approve Resolution R-2015-16 approving various fund budget moves adjustments. Motion carried by unanimous roll call vote.

- 3. Presentation for approval of final Acme FOIA act changes**

Zollinger stated that the final charges from Clerk, Dye, were not on the form yet so the Board would not be approving this meeting. Jocks briefly explained the changes in FOIA procedures. Jocks also addressed questions raised earlier by Dye. Board was reminded that approval must be before July 1st.

K. OLD BUSINESS:

- 1. Traverse Bay RV Park Site Plan Approval Board**

Fred Campbell, JML Design Grp and Dave Scheppe of Scheppe Investments, owner of the Traverse Bay RV park, were present requesting to construct 12 additional RV sites that can be used for "Park Model" cabins. The Planning Commission (PC) recommended approval of the SUP amendment to the Township Board, subject to stipulations of the PC April 11, 2015, motion. Additional discussion followed.

Motion by White, to approve major amendments to SUP 99-03 including stipulations 1-8 of the Planning Commission motion as presented, Seconded by LaPointe. Motion carried by unanimous roll call vote.

Recessed for five minutes

2. 2015/16 Budget continued discussion from 4/30/15 Budget meeting

Zollinger reviewed the enterprise (police, cemetery) funds, Trust & Agency funds, Sewer, Insurance liability coverage. Scott asked about unemployment for the Parks workers.

The next scheduled Budget work session is Tuesday, May 19, 2015, at 7:00 p.m.

PUBLIC COMMENT & OTHER BUSINESS THAT MAY COME BEFORE THE BOARD:

Trustee, Jenema, commented that we have received 6 applications for the Zoning Administrator position. The deadline for submitting applications is May 28, 2015.

Adjourned at 9:30 pm



**ACME TOWNSHIP REGULAR BOARD MEETING
ACME TOWNSHIP HALL
6042 Acme Road, Williamsburg MI 49690
Tuesday, May 12, 2015, 7:00 p.m.**

Study session on Sayler Park Boat Launch at 6:15pm

GENERAL TOWNSHIP MEETING POLICIES

- A. All cell phones shall be switched to silent mode or turned off.
- B. Any person may make a video, audio or other record of this meeting. Standing equipment, records, or portable microphones must be located so as not to block audience view.

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE
ROLL CALL**

- A. **LIMITED PUBLIC COMMENT:**
Public Comment periods are provided at the beginning and end of each meeting agenda. Members of the public may address the Board regarding any subject of community interest during these periods. Comment during other portions of the agenda may or may not be entertained at the moderator’s discretion.
- B. **APPROVAL OF AGENDA:**
- C. **INQUIRY AS TO CONFLICTS OF INTEREST:**
- D. **CONSENT CALENDAR:** The purpose is to expedite business by grouping non-controversial items together for one Board motion (roll call vote) without discussion. A request to remove any item for discussion later in the agenda from any member of the Board, staff or public shall be granted.

- 1. **RECEIVE AND FILE:**
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 - b. **Clerk’s Revenue/Expenditure Report and Balance Sheet**
 - c. **Draft Unapproved Meeting Minutes:**
 - 1. **Planning Commission 04/13/15**
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 - e. **Parks and Maintenance Report – Henkel**
 - f. **Zoning Report - Lennox**
 - g. **Grand Traverse County 2015 Equalization Report**
 - h. **DEQ, Administrative Consent Order/The Village at Grand Traverse, L.L.C.**
- 2. **APPROVAL:**
 - a. **Township Board Regular meeting minutes of 04/07/15**
 - b. **Accounts Payable Prepaid of \$217,201.30 and Current to be approved of \$57,960.72 (Recommend approval: Cathy Dye, Clerk)**

- E. **ITEMS REMOVED FROM THE CONSENT CALENDAR:**
 - 1. _____
 - 2. _____
 - 3. _____

F. SPECIAL PRESENTATIONS/DISCUSSIONS:

- G. **REPORTS:**
 - 1. **Sheriff’s Report– Deputy: Ken Chubb**

If you are planning to attend and are physically challenged, requiring any special assistance, please notify Cathy Dye, Clerk, within 24 hours of the meeting at 938-1350.

2. **County Commissioner's Report-Carol Crawford**
3. **Road commission report-Marc McKellar**

H. CORRESPONDENCE:

I. PUBLIC HEARING:

J. NEW BUSINESS:

1. **SAD: Contract with GTCRC on SAD bonds & Contract for Construction costing.**
2. **Budget Resolution on Tax reserve to General funds**
3. **Presentation for approval of final Acme FOLA act changes.**

K. OLD BUSINESS:

1. **Traverse Bay RV Park Site Plan, Board Final Approval**
2. **Continued discussion on Sayler Boat Launch.**
3. **2015/16 budget continued discussion from 4/30/15**

PUBLIC COMMENT & OTHER BUSINESS THAT MAY COME BEFORE THE BOARD:

ADJOURN

ACME TOWNSHIP - Monthly Treasurer's Report

Reconciled with Bank as of March 31, 2015

		FUND #	February 28, 2015 Account Balance	NET CHANGE	March 31, 2015 Account Balance
Chase Bank		101	\$ 1,277,605	\$ (163,450)	\$ 1,114,155
Chemical Bank - High Yield		101	\$ 156,725	\$ 6	\$ 156,731
Chemical Bank - Money Market Plus		101	\$ 297,136	\$ 13	\$ 297,149
Chemical Bank - Liquor Fund		101	\$ 12,192	\$ 0	\$ 12,192
A	TOTAL BANK ACCOUNTS FOR GENERAL FUND		\$ 1,743,658	\$ (163,430)	\$ 1,580,228
	Self Funded Accts Payable 6 Months	<i>Committed</i> 101	\$ 351,177	\$ -	\$ 351,177
	Saylor Park Boat Launch Imp	<i>Committed</i> 101	\$ 95,868	\$ -	\$ 95,868
	Septage Plant Bond Buyout	<i>Committed</i> 101	\$ 201,589	\$ 657	\$ 202,246
	Hoxsie House Relocation	<i>Committed</i> 101	\$ -	\$ -	\$ -
	Water Engineering Study (GTB Grant)	<i>Restricted</i> 101	\$ 14,000	\$ -	\$ 14,000
	GTTC Engineer Project Management	<i>Committed</i> 101	\$ 40,000	\$ -	\$ 40,000
	Public Broadcast Equipment Fund	<i>Restricted</i> 101	\$ 6,864	\$ -	\$ 6,864
	PA48 Metro Fund -(PA 48 Twp Imp (SAD) \$20,401)	<i>Restricted</i> 101	\$ 83,282	\$ (0)	\$ 83,282
B	Sub-Total Assigned From GENERAL FUND	101	\$ 792,780	\$ 657	\$ 793,437
Funds within General Fund Bank Account (Restricted or Committed)					
	Cemetery Fund	<i>Committed</i> 209	\$ 5,152	\$ 0	\$ 5,152
	Fire Fund <i>Special Assessment</i>	<i>Restricted</i> 206	\$ 110,880	\$ (28,872)	\$ 82,008
	Police Fund <i>Special Assessment</i>	<i>Restricted</i> 207	\$ 149,867	\$ 5,901	\$ 155,768
	Liquor Fund	<i>Restricted</i> 212	\$ 826	\$ (0)	\$ 826
	Township Improvement (SAD)	<i>Committed</i> 246	\$ 50,000	\$ -	\$ 50,000
C	SUB-TOTAL (Restricted or Committed)		\$ 316,725	\$ (22,972)	\$ 293,753
	BALANCE	101	\$ 634,153		\$ 493,038
			Note ((A)-(B+C))		Note ((A)-(B+C))
RESTRICTED BY BOARD RESOLUTION ACCOUNTS:					
	Shoreline Preserv. Fund	<i>Committed</i> 224	\$ 1,362	\$ 15	\$ 1,377
	Parks & Recreation	<i>Committed</i> 226	\$ 16,098	\$ -	\$ 16,098
	Parks/Shoreline Fund <small>(New Urbanist to Park/Shoreline)</small>	<i>Committed</i> 227	\$ 27,886	\$ 1	\$ 27,887
D	SUB-TOTAL		\$ 45,346		\$ 45,362
RESTRICTED BY MILLAGE:					
	Farmland <i>Millage Chemical Bank</i>	<i>Restricted</i> 225	\$ 5,197	\$ 0	\$ 5,197
	Farmland <i>Millage Chase Bank</i>	<i>Restricted</i> 225	\$ 98,961	\$ 99,536	\$ 198,497
	Farmland Totals		\$ 104,158	\$ 99,536	\$ 203,694
	Tax Collection	<i>Temporary Funds</i> 703	\$ 459,648	\$ (437,180)	\$ 22,468
E			\$ 563,806		\$ 226,162
RESTRICTED BY REVENUE SOURCE ACCOUNTS:					
	Sewer Fund Chemical Bank	<i>Restricted</i> 590	\$ 196,689	\$ 24	\$ 196,713
	Sewer Fund Chase Bank	<i>Restricted</i> 590	\$ 1,286,386	\$ (58,782)	\$ 1,227,604
	Sewer Fund Totals	<i>Restricted</i> 590	\$ 1,483,075	\$ (58,758)	\$ 1,424,317
	Planning Review Fees (Trust & Agency) Escrow	<i>Restricted</i> 701	\$ 21,936	\$ 14,022	\$ 35,958
F	ACME TOWNSHIP RESTRICTED FUNDS		\$ 1,505,011		\$ 1,460,275
ACME TOWNSHIP ALL ACCOUNT BALANCES			\$ 3,857,821		\$ 3,312,028
			NOTE: (A+D+E+F)		NOTE: (A+D+E+F)

Amy Jenema, Treasurer

Notes: Committed = Board Resolution Restricted= Law or Outside Agency Controls Use of Funds

ESTIMATED FUND BALANCE AT THE END OF BUDGET YEAR	\$ 340,615
(144,258.05-296,681.42)-493,038=	
Formula = REV/EXP Report (Unenc Bal Exp-Unenc Rev)+101 Balance	

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 1.1 GENERAL FUND

Fund: 101 - GENERAL FUND

Revenues

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Dept: 000							
402.000 CURRENT PROPERTY TAXES	214,300.00	214,300.00	208,737.10	29,868.30	0.00	5,562.90	97.4
403.000 STATE SHARED SALES TAX	0.00	0.00	-539.00	0.00	0.00	539.00	0.0
412.000 PERSONAL PROP TAXES	10,467.00	10,467.00	0.00	0.00	0.00	10,467.00	0.0
420.000 DELQUENT PERS PROP TAX	500.00	500.00	0.00	0.00	0.00	500.00	0.0
445.020 PENALTIES& INTEREST	500.00	500.00	325.93	0.00	0.00	174.07	65.2
446.000 DEL PERS INTEREST & PENALTY	300.00	300.00	0.00	0.00	0.00	300.00	0.0
447.000 ADMINISTRATIVE FEE 1%	102,059.00	102,059.00	98,711.34	4,114.11	0.00	3,347.66	96.7
448.000 CABLE TV FEE	82,224.00	82,224.00	42,786.22	0.00	0.00	39,437.78	52.0
465.000 PASSPORT FEES	3,000.00	3,000.00	2,959.50	275.00	0.00	40.50	98.7
574.000 ST SHARED SALES TAX	335,358.00	335,358.00	176,382.00	56,970.00	0.00	158,976.00	52.6
577.000 SWAMP TAX	750.00	750.00	1,035.39	0.00	0.00	-285.39	138.1
602.000 GRANTS	0.00	0.00	66,000.00	0.00	0.00	-66,000.00	0.0
607.000 CHARGES FOR SERVICES	200.00	200.00	207.71	7.50	0.00	-7.71	103.9
608.000 ZONING ORDINANCES	0.00	0.00	80.00	0.00	0.00	-80.00	0.0
608.001 Zoning Fees	15,000.00	15,000.00	15,805.38	375.00	0.00	-805.38	105.4
610.000 Revenues for Escrow Account	500.00	500.00	3,258.55	0.00	0.00	-2,758.55	651.7
631.000 CONS INDUSTRY ANNUAL MAINT FEE	6,785.00	6,785.00	6,645.54	0.00	0.00	139.46	97.9
665.000 INTEREST ON INVESTMENTS	1,800.00	1,800.00	310.75	19.90	0.00	1,489.25	17.3
665.001 INTEREST SEPTAGE RECEIVED	1,500.00	1,500.00	1,472.89	0.00	0.00	27.11	98.2
667.000 RENT-PARKS	200.00	200.00	125.00	50.00	0.00	75.00	62.5
671.000 MISC REVENUES	0.00	0.00	1,367.44	0.00	0.00	-1,367.44	0.0
676.000 REIMBURSEMENTS	27,000.00	27,000.00	17,342.74	1,620.29	0.00	9,657.26	64.2
687.000 REFUNDS & REBATES	1,500.00	1,500.00	0.00	0.00	0.00	1,500.00	0.0
Dept: 000	803,943.00	803,943.00	643,014.48	93,300.10	0.00	160,928.52	80.0

Revenues	803,943.00	803,943.00	643,014.48	93,300.10	0.00	160,928.52	80.0
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Expenditures

Dept: 000							
465.001 POSTAGE FOR PASSPORTS	400.00	400.00	599.92	160.68	0.00	-199.92	150.0
992.000 CONTINGENCY	70,000.00	34,681.50	0.00	0.00	0.00	34,681.50	0.0
994.000 TC TALUS CONTRACT SERVICES	800.00	800.00	0.00	0.00	0.00	800.00	0.0
998.000 GT COUNTY ROAD COMMISION TART	1,520.00	1,520.00	800.00	0.00	0.00	720.00	52.6
999.000 TRANSFER TO OTHER FUNDS	0.00	50,000.00	7,423.00	2,600.00	0.00	42,577.00	14.8

Dept: 000	72,720.00	87,401.50	8,822.92	2,760.68	0.00	78,578.58	10.1
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Dept: 101 TOWNSHIP BOARD OF TRUSTEES							
702.000 SALARIES	24,000.00	24,000.00	18,000.00	2,000.00	0.00	6,000.00	75.0
703.001 SECRETARY	28,614.00	28,614.00	20,787.78	2,208.80	0.00	7,826.22	72.6
705.001 PER DIEM TRUSTEES	500.00	500.00	0.00	0.00	0.00	500.00	0.0
710.000 UNEMPLOYMENT EXPENSE	0.00	9,055.50	7,205.00	0.00	0.00	1,850.50	79.6
714.000 FICA LOCAL SHARE	4,000.00	4,000.00	2,754.48	305.85	0.00	1,245.52	68.9
726.000 SUPPLIES & POSTAGE	3,000.00	3,000.00	1,901.11	45.75	0.00	1,098.89	63.4
801.000 ACCOUNTING & AUDIT	12,000.00	12,000.00	9,934.99	0.00	0.00	2,065.01	82.8
801.001 INTERNAL ACCOUNTANT	7,000.00	7,000.00	3,895.00	450.00	0.00	3,105.00	55.6
802.001 ATTORNEY SERVICES LITIGATION	3,000.00	3,000.00	559.50	0.00	0.00	2,440.50	18.7
802.002 ATTORNEY SERVICES	17,000.00	17,000.00	15,324.22	3,125.00	0.00	1,675.78	90.1
802.005 CONTRACTED COMMUNITY SERVICES	0.00	59,000.00	59,000.00	0.00	0.00	0.00	100.0
803.003 ENGINEERING SERVICES	30,000.00	30,000.00	15,685.75	6,100.00	0.00	14,314.25	52.3
804.000 SOFTWARE SUPPORT & PROCESSING	18,495.00	22,195.00	19,917.87	3,730.85	0.00	2,277.13	89.7
860.000 TRAVEL & MILEAGE	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00	0.0
874.000 RETIREMENT/PENSION	2,861.00	2,861.00	0.00	0.00	0.00	2,861.00	0.0
900.000 PUBLICATIONS	1,800.00	1,800.00	6,687.79	164.75	0.00	-4,887.79	371.5
910.000 INSURANCE	6,600.00	6,600.00	5,323.47	652.53	0.00	1,276.53	80.7
946.001 SUPPLIES/POSTAGE	0.00	0.00	109.00	109.00	0.00	-109.00	0.0
956.000 MISCELLANEOUS	0.00	0.00	480.00	0.00	0.00	-480.00	0.0
958.000 EDUCATION/TRAINING/CONVENTIONS	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00	0.0
960.000 dues subscriptions	5,350.00	5,350.00	163.95	16.99	0.00	5,186.05	3.1

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 1.1 GENERAL FUND

Fund: 101 - GENERAL FUND

Expenditures

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
TOWNSHIP BOARD OF TRUSTEES	166,220.00	237,975.50	187,729.91	18,909.52	0.00	50,245.59	78.9
Dept: 171 SUPERVISOR EXPENDITURES							
702.000 SALARIES	37,000.00	37,000.00	26,184.64	2,846.16	0.00	10,815.36	70.8
714.000 FICA LOCAL SHARE	2,812.00	2,812.00	2,003.02	217.72	0.00	808.98	71.2
726.000 SUPPLIES & POSTAGE	200.00	200.00	13.77	0.00	0.00	186.23	6.9
860.000 TRAVEL & MILEAGE	500.00	500.00	357.08	357.08	0.00	142.92	71.4
874.000 RETIREMENT/PENSION	3,700.00	3,700.00	0.00	0.00	0.00	3,700.00	0.0
958.000 EDUCATION/TRAINING/CONVENTIONS	1,500.00	1,500.00	0.00	0.00	0.00	1,500.00	0.0
SUPERVISOR EXPENDITURES	45,712.00	45,712.00	28,558.51	3,420.96	0.00	17,153.49	62.5
Dept: 191 ELECTION EXPENDITURES							
702.000 SALARIES	11,000.00	11,000.00	6,537.50	0.00	0.00	4,462.50	59.4
714.000 FICA LOCAL SHARE	0.00	0.00	48.47	0.00	0.00	-48.47	0.0
726.000 SUPPLIES & POSTAGE	4,000.00	4,000.00	3,373.06	306.24	0.00	626.94	84.3
900.000 PUBLICATIONS	700.00	700.00	518.20	0.00	0.00	181.80	74.0
ELECTION EXPENDITURES	15,700.00	15,700.00	10,477.23	306.24	0.00	5,222.77	66.7
Dept: 209 ASSESSOR'S EXPENDITURES							
702.000 SALARIES	5,000.00	5,000.00	3,750.03	416.67	0.00	1,249.97	75.0
714.000 FICA LOCAL SHARE	383.00	383.00	286.83	31.87	0.00	96.17	74.9
726.000 SUPPLIES & POSTAGE	2,500.00	2,500.00	1,825.01	336.98	0.00	674.99	73.0
803.002 ASSESSING CONTRACT SERVICES	30,000.00	30,000.00	22,500.00	2,500.00	0.00	7,500.00	75.0
803.004 ASSESSOR'S EVALUATION SERVICES	1,000.00	1,000.00	480.96	0.00	0.00	519.04	48.1
804.000 SOFTWARE SUPPORT & PROCESSING	2,000.00	2,000.00	1,699.00	526.00	0.00	301.00	85.0
956.000 MISCELLANEOUS	150.00	150.00	0.00	0.00	0.00	150.00	0.0
ASSESSOR'S EXPENDITURES	41,033.00	41,033.00	30,541.83	3,811.52	0.00	10,491.17	74.4
Dept: 215 CLERK'S EXPENDITURES							
702.000 SALARIES	37,008.00	37,008.00	26,190.16	2,846.76	0.00	10,817.84	70.8
703.000 WAGES DEPUTY/SEC/PRT TIME	16,640.00	16,640.00	11,436.00	1,886.40	0.00	5,204.00	68.7
714.000 FICA LOCAL SHARE	4,105.00	4,105.00	2,358.44	320.18	0.00	1,746.56	57.5
726.000 SUPPLIES & POSTAGE	1,500.00	1,500.00	755.37	181.19	0.00	744.63	50.4
804.000 SOFTWARE SUPPORT & PROCESSING	3,000.00	3,000.00	0.00	0.00	0.00	3,000.00	0.0
860.000 TRAVEL & MILEAGE	1,000.00	1,000.00	532.22	179.18	0.00	467.78	53.2
874.000 RETIREMENT/PENSION	5,600.00	5,600.00	0.00	0.00	0.00	5,600.00	0.0
910.000 INSURANCE	11,200.00	11,200.00	8,188.49	960.71	0.00	3,011.51	73.1
958.000 EDUCATION/TRAINING/CONVENTIONS	1,500.00	1,500.00	0.00	0.00	0.00	1,500.00	0.0
CLERK'S EXPENDITURES	81,553.00	81,553.00	49,460.68	6,374.42	0.00	32,092.32	60.6
Dept: 247 BOARD OF REVIEW							
702.000 SALARIES	800.00	800.00	570.00	570.00	0.00	230.00	71.3
714.000 FICA LOCAL SHARE	61.00	61.00	43.62	43.62	0.00	17.38	71.5
900.000 PUBLICATIONS	100.00	100.00	0.00	0.00	0.00	100.00	0.0
956.000 MISCELLANEOUS	0.00	140.00	265.08	125.08	0.00	-125.08	189.3
BOARD OF REVIEW	961.00	1,101.00	878.70	738.70	0.00	222.30	79.8
Dept: 253 TREASURER'S EXPENDITURES							
702.000 SALARIES	25,159.00	25,159.00	17,804.72	1,935.30	0.00	7,354.28	70.8
703.000 WAGES DEPUTY/SEC/PRT TIME	25,159.00	25,159.00	17,804.73	1,935.30	0.00	7,354.27	70.8
714.000 FICA LOCAL SHARE	3,825.00	3,825.00	2,648.61	287.76	0.00	1,176.39	69.2
726.000 SUPPLIES & POSTAGE	5,000.00	5,000.00	2,913.46	126.53	0.00	2,086.54	58.3
804.000 SOFTWARE SUPPORT & PROCESSING	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00	0.0
860.000 TRAVEL & MILEAGE	500.00	500.00	0.00	0.00	0.00	500.00	0.0
874.000 RETIREMENT/PENSION	3,451.00	3,451.00	0.00	0.00	0.00	3,451.00	0.0
900.000 PUBLICATIONS	100.00	100.00	8.15	0.00	0.00	91.85	8.2
910.000 INSURANCE	2,500.00	2,500.00	900.43	91.62	0.00	1,599.57	36.0
958.000 EDUCATION/TRAINING/CONVENTIONS	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00	0.0
TREASURER'S EXPENDITURES	67,694.00	67,694.00	42,080.10	4,376.51	0.00	25,613.90	62.2

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 1.1 GENERAL FUND

Fund: 101 - GENERAL FUND

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures							
Dept: 265 TOWNHALL EXPENDITURES							
726.000 SUPPLIES & POSTAGE	2,400.00	2,400.00	637.69	248.19	0.00	1,762.31	26.6
851.000 CABLE INTERNET SERVICES	4,500.00	4,500.00	3,500.24	325.70	0.00	999.76	77.8
920.000 ELECTRIC UTILITIES TOWNHALL	9,500.00	9,500.00	8,001.29	940.03	0.00	1,498.71	84.2
921.000 STREET LIGHTS	12,000.00	12,000.00	7,387.86	936.04	0.00	4,612.14	61.6
922.000 MICH CON GAS	4,000.00	4,000.00	2,914.43	887.37	0.00	1,085.57	72.9
923.000 SEWER TOWNSHIP HALL	900.00	900.00	540.00	180.00	0.00	360.00	60.0
930.000 REPAIRS & MAINT	7,000.00	7,000.00	5,290.39	493.44	0.00	1,709.61	75.6
TOWNHALL EXPENDITURES	40,300.00	40,300.00	28,271.90	4,010.77	0.00	12,028.10	70.2
Dept: 410 PLANNING & ZONING EXPENDITURES							
702.002 ZONING ADMIN SALARY	27,300.00	27,300.00	16,923.06	1,684.38	0.00	10,376.94	62.0
705.000 PER DIEM PLANNING/ZBA	13,600.00	13,600.00	6,862.00	2,100.00	0.00	6,738.00	50.5
714.000 FICA LOCAL SHARE	2,074.00	2,074.00	1,982.13	289.50	0.00	91.87	95.6
726.000 SUPPLIES & POSTAGE	400.00	400.00	60.34	3.47	0.00	339.66	15.1
802.002 ATTORNEY SERVICES	18,000.00	18,000.00	8,646.28	540.00	0.00	9,353.72	48.0
803.000 PLANNER SERVICES	20,000.00	20,000.00	16,679.37	3,732.62	0.00	3,320.63	83.4
803.001 PLANNING CONSULTANT	30,000.00	30,000.00	19,225.52	1,310.00	0.00	10,774.48	64.1
804.000 SOFTWARE SUPPORT & PROCESSING	400.00	400.00	0.00	0.00	0.00	400.00	0.0
860.000 TRAVEL & MILEAGE	500.00	500.00	103.22	0.00	0.00	396.78	20.6
874.000 RETIREMENT/PENSION	2,730.00	2,730.00	0.00	0.00	0.00	2,730.00	0.0
900.000 PUBLICATIONS	2,500.00	2,500.00	270.65	95.25	0.00	2,229.35	10.8
949.000 RENTAL OF SPACE	250.00	250.00	150.00	0.00	0.00	100.00	60.0
958.000 EDUCATION/TRAINING/CONVENTIONS	2,000.00	2,000.00	640.00	625.00	0.00	1,360.00	32.0
960.000 dues subscriptions	350.00	350.00	350.00	350.00	0.00	0.00	100.0
PLANNING & ZONING EXPENDITURES	120,104.00	120,104.00	71,892.57	10,730.22	0.00	48,211.43	59.9
Dept: 750 MAINT & PARKS EXPENDITURES							
702.000 SALARIES	47,660.00	47,660.00	33,723.52	3,665.60	0.00	13,936.48	70.8
703.000 WAGES DEPUTY/SEC/PRT TIME	8,000.00	8,000.00	6,505.00	0.00	0.00	1,495.00	81.3
714.000 FICA LOCAL SHARE	4,230.00	4,230.00	2,539.73	217.50	0.00	1,690.27	60.0
726.000 SUPPLIES & POSTAGE	1,000.00	1,000.00	509.85	351.95	0.00	490.15	51.0
874.000 RETIREMENT/PENSION	4,766.00	4,766.00	0.00	0.00	0.00	4,766.00	0.0
910.000 INSURANCE	9,100.00	9,100.00	8,217.50	964.10	0.00	882.50	90.3
930.000 REPAIRS & MAINT	34,875.00	34,875.00	13,835.45	495.84	0.00	21,039.55	39.7
930.001 PARK EQUIP MAINT	3,500.00	3,500.00	114.32	114.32	0.00	3,385.68	3.3
956.000 MISCELLANEOUS	2,500.00	29,500.00	25,640.00	0.00	0.00	3,860.00	86.9
MAINT & PARKS EXPENDITURES	115,631.00	142,631.00	91,085.37	5,809.31	0.00	51,545.63	63.9
Dept: 861 RETIREMENT/PENSION							
874.000 RETIREMENT/PENSION	1,200.00	1,200.00	430.00	0.00	0.00	770.00	35.8
RETIREMENT/PENSION	1,200.00	1,200.00	430.00	0.00	0.00	770.00	35.8
Dept: 865 INSURANCE							
910.000 INSURANCE	14,000.00	14,000.00	10,319.00	0.00	0.00	3,681.00	73.7
INSURANCE	14,000.00	14,000.00	10,319.00	0.00	0.00	3,681.00	73.7
Dept: 966 TRANSFER TO OTHER FUNDS							
999.000 TRANSFER TO OTHER FUNDS	0.00	7,423.00	0.00	0.00	0.00	7,423.00	0.0
TRANSFER TO OTHER FUNDS	0.00	7,423.00	0.00	0.00	0.00	7,423.00	0.0
Expenditures	782,828.00	903,828.00	560,548.72	61,248.85	0.00	343,279.28	62.0
Net Effect for GENERAL FUND	21,115.00	-99,885.00	82,465.76	32,051.25	0.00	-182,350.76	-82.6
Change in Fund Balance:			82,465.76				
Net Effect for GENERAL FUND	21,115.00	-99,885.00	82,465.76	32,051.25	0.00	-182,350.76	
Fund Type: 1.2 SPECIAL REVENUE FUNDS							

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 1.2 SPECIAL REVENUE FUNDS

Fund: 206 - FIRE FUND

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Revenues							
Dept: 000							
402.000 CURRENT PROPERTY TAXES	705,178.00	705,178.00	648,922.22	94,445.52	0.00	56,255.78	92.0
671.000 MISC REVENUES	0.00	0.00	-521.98	0.00	0.00	521.98	0.0
698.000 TRANS IN FRM OTHER FUNDS	1,190.00	8,613.00	7,423.00	2,600.00	0.00	1,190.00	86.2
Dept: 000	706,368.00	713,791.00	655,823.24	97,045.52	0.00	57,967.76	91.9
Revenues	706,368.00	713,791.00	655,823.24	97,045.52	0.00	57,967.76	91.9
Expenditures							
Dept: 000							
802.004 CONTRACTED EMPLOYEE SERVICES	85,810.00	88,410.00	49,370.64	6,582.75	0.00	39,039.36	55.8
805.000 METRO FIRE CONTRACT	620,557.00	620,557.00	609,295.02	119,334.35	0.00	11,261.98	98.2
964.000 REIMBURSEMENTS	0.00	0.00	5,019.00	0.00	0.00	-5,019.00	0.0
Dept: 000	706,367.00	708,967.00	663,684.66	125,917.10	0.00	45,282.34	93.6
Expenditures	706,367.00	708,967.00	663,684.66	125,917.10	0.00	45,282.34	93.6
Net Effect for FIRE FUND	1.00	4,824.00	-7,861.42	-28,871.58	0.00	12,685.42	-163.0
Change in Fund Balance:			-7,861.42				

Fund: 207 - POLICE PROTECTION

Revenues							
Dept: 000							
402.000 CURRENT PROPERTY TAXES	43,000.00	43,000.00	40,540.42	5,900.34	0.00	2,459.58	94.3
671.000 MISC REVENUES	26,846.00	26,846.00	-31.32	0.00	0.00	26,877.32	-0.1
698.000 TRANS IN FRM OTHER FUNDS	8,500.00	8,500.00	8,500.00	0.00	0.00	0.00	100.0
Dept: 000	78,346.00	78,346.00	49,009.10	5,900.34	0.00	29,336.90	62.6
Revenues	78,346.00	78,346.00	49,009.10	5,900.34	0.00	29,336.90	62.6
Expenditures							
Dept: 000							
802.000 COMMUNITY POLICING CONTRACT	78,000.00	78,000.00	38,007.50	0.00	0.00	39,992.50	48.7
956.000 MISCELLANEOUS	200.00	200.00	0.00	0.00	0.00	200.00	0.0
Dept: 000	78,200.00	78,200.00	38,007.50	0.00	0.00	40,192.50	48.6
Expenditures	78,200.00	78,200.00	38,007.50	0.00	0.00	40,192.50	48.6
Net Effect for POLICE PROTECTION	146.00	146.00	11,001.60	5,900.34	0.00	-10,855.60	7,535.3
Change in Fund Balance:			11,001.60				

Fund: 209 - CEMETERY FUND

Revenues							
Dept: 000							
643.000 CEMETARY lot & plots	3,000.00	3,000.00	800.00	0.00	0.00	2,200.00	26.7
646.000 BURIAL FEE PAYMENTS	3,500.00	3,500.00	1,700.00	0.00	0.00	1,800.00	48.6
Dept: 000	6,500.00	6,500.00	2,500.00	0.00	0.00	4,000.00	38.5
Revenues	6,500.00	6,500.00	2,500.00	0.00	0.00	4,000.00	38.5
Expenditures							
Dept: 000							
726.000 SUPPLIES & POSTAGE	150.00	150.00	16.13	0.00	0.00	133.87	10.8
802.004 CONTRACTED EMPLOYEE SERVICES	2,000.00	2,000.00	1,200.00	0.00	0.00	800.00	60.0
930.000 REPAIRS & MAINT	4,000.00	4,000.00	763.39	0.00	0.00	3,236.61	19.1
Dept: 000	6,150.00	6,150.00	1,979.52	0.00	0.00	4,170.48	32.2

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 1.2 SPECIAL REVENUE FUNDS

Fund: 209 - CEMETERY FUND

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures	6,150.00	6,150.00	1,979.52	0.00	0.00	4,170.48	32.2
Net Effect for CEMETERY FUND Change in Fund Balance:	350.00	350.00	520.48 520.48	0.00	0.00	-170.48	148.7

Fund: 212 - LIQUOR FUND

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Revenues							
Dept: 000							
443.000 LIQUOR LICENSE FEES	9,000.00	9,000.00	8,661.40	0.00	0.00	338.60	96.2
665.000 INTEREST ON INVESTMENTS	0.00	0.00	6.79	0.52	0.00	-6.79	0.0
Dept: 000	9,000.00	9,000.00	8,668.19	0.52	0.00	331.81	96.3
Revenues	9,000.00	9,000.00	8,668.19	0.52	0.00	331.81	96.3

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures							
Dept: 000							
999.000 TRANSFER TO OTHER FUNDS	8,500.00	8,500.00	8,500.00	0.00	0.00	0.00	100.0
Dept: 000	8,500.00	8,500.00	8,500.00	0.00	0.00	0.00	100.0

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures	8,500.00	8,500.00	8,500.00	0.00	0.00	0.00	100.0
Net Effect for LIQUOR FUND Change in Fund Balance:	500.00	500.00	168.19 168.19	0.52	0.00	331.81	33.6

Fund: 225 - FARMLAND PRESERVATION

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Revenues							
Dept: 000							
402.000 CURRENT PROPERTY TAXES	0.00	0.00	208,239.79	29,738.10	0.00	-208,239.79	0.0
665.000 INTEREST ON INVESTMENTS	0.00	0.00	122.18	5.07	0.00	-122.18	0.0
Dept: 000	0.00	0.00	208,361.97	29,743.17	0.00	-208,361.97	0.0
Revenues	0.00	0.00	208,361.97	29,743.17	0.00	-208,361.97	0.0

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures							
Dept: 000							
802.002 ATTORNEY SERVICES	0.00	4,000.00	3,676.44	1,466.44	0.00	323.56	91.9
802.004 CONTRACTED EMPLOYEE SERVICES	30,000.00	30,000.00	18,495.00	0.00	0.00	11,505.00	61.7
941.000 PDR PYMT TO LANDOWNERS	100,000.00	624,726.00	624,725.25	0.00	0.00	0.75	100.0
942.000 APPRASAL EXPENSES	0.00	2,500.00	2,205.00	0.00	0.00	295.00	88.2
Dept: 000	130,000.00	661,226.00	649,101.69	1,466.44	0.00	12,124.31	98.2

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures	130,000.00	661,226.00	649,101.69	1,466.44	0.00	12,124.31	98.2
Net Effect for FARMLAND PRESERVATION Change in Fund Balance:	-130,000.00	-661,226.00	-440,739.72 -440,739.72	28,276.73	0.00	-220,486.28	66.7

Fund: 226 - PARK and RECREATION FUND

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Revenues							
Dept: 000							
600.000 CONTRIBUTIONS FROM RESIDENTS	0.00	0.00	5,980.68	0.00	0.00	-5,980.68	0.0
665.000 INTEREST ON INVESTMENTS	90.00	90.00	3.15	0.42	0.00	86.85	3.5
676.000 REIMBURSEMENTS	27,800.00	27,800.00	0.00	0.00	0.00	27,800.00	0.0
Dept: 000	27,890.00	27,890.00	5,983.83	0.42	0.00	21,906.17	21.5

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Revenues	27,890.00	27,890.00	5,983.83	0.42	0.00	21,906.17	21.5

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Expenditures							

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 1.2 SPECIAL REVENUE FUNDS

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Fund: 226 - PARK and RECREATION FUND							
Expenditures							
Dept: 000							
902.000 BANK CHARGES	20.00	20.00	0.00	0.00	0.00	20.00	0.0
930.002 PARKS & RECREATION EXPENDITURE	27,800.00	27,800.00	0.00	0.00	0.00	27,800.00	0.0
930.003 PHRAGMITES ERADICATION	60.00	60.00	0.00	0.00	0.00	60.00	0.0
Dept: 000	27,880.00	27,880.00	0.00	0.00	0.00	27,880.00	0.0
Expenditures	27,880.00	27,880.00	0.00	0.00	0.00	27,880.00	0.0
Net Effect for PARK and RECREATION FUND	10.00	10.00	5,983.83	0.42	0.00	-5,973.83	9,838.3
Change in Fund Balance:			5,983.83				
Fund: 227 - NEW URBANIST TOWN CENTER							
Revenues							
Dept: 000							
665.000 INTEREST ON INVESTMENTS	0.00	0.00	6.28	0.73	0.00	-6.28	0.0
Dept: 000	0.00	0.00	6.28	0.73	0.00	-6.28	0.0
Revenues	0.00	0.00	6.28	0.73	0.00	-6.28	0.0
Net Effect for NEW URBANIST TOWN CENTER	0.00	0.00	6.28	0.73	0.00	-6.28	0.0
Change in Fund Balance:			6.28				
Fund: 818 - HOLIDAY HILLS AREA IMPROVEMENT							
Revenues							
Dept: 000							
698.000 TRANS IN FRM OTHER FUNDS	0.00	100,000.00	0.00	0.00	0.00	100,000.00	0.0
Dept: 000	0.00	100,000.00	0.00	0.00	0.00	100,000.00	0.0
Revenues	0.00	100,000.00	0.00	0.00	0.00	100,000.00	0.0
Net Effect for HOLIDAY HILLS AREA IMPROVEMENT	0.00	100,000.00	0.00	0.00	0.00	100,000.00	0.0
Change in Fund Balance:			0.00				
Net Effect for SPECIAL REVENUE FUNDS	-128,993.00	-555,396.00	-430,920.76	5,307.16	0.00	-124,475.24	
Fund Type: 1.3 CAPITAL PROJECTS FUNDS							
Fund: 246 - TWP IMPROVEMENT REVOLVING FUND							
Expenditures							
Dept: 000							
999.000 TRANSFER TO OTHER FUNDS	0.00	50,000.00	0.00	0.00	0.00	50,000.00	0.0
Dept: 000	0.00	50,000.00	0.00	0.00	0.00	50,000.00	0.0
Expenditures	0.00	50,000.00	0.00	0.00	0.00	50,000.00	0.0
Net Effect for TWP IMPROVEMENT REVOLVING FUND	0.00	-50,000.00	0.00	0.00	0.00	-50,000.00	0.0
Change in Fund Balance:			0.00				
Net Effect for CAPITAL PROJECTS FUNDS	0.00	-50,000.00	0.00	0.00	0.00	-50,000.00	
Fund Type: 2.1 ENTERPRISE FUNDS							
Fund: 224 - SHORELINE PPRESERVATION							
Revenues							
Dept: 000							
600.000 CONTRIBUTIONS FROM RESIDENTS	1,430.00	1,430.00	0.00	0.00	0.00	1,430.00	0.0
665.000 INTEREST ON INVESTMENTS	0.00	0.00	0.29	0.04	0.00	-0.29	0.0
Dept: 000	1,430.00	1,430.00	0.29	0.04	0.00	1,429.71	0.0

REVENUE/EXPENDITURE REPORT

ACME TOWNSHIP

For the Period: 7/1/2014 to 3/31/2015

Fund Type: 2.1 ENTERPRISE FUNDS

Fund: 224 - SHORELINE PPRESERVATION

	Original Bud.	Amended Bud.	YTD Actual	CURR MTH	Encumb. YTD	UnencBal	% Bud
Revenues	1,430.00	1,430.00	0.29	0.04	0.00	1,429.71	0.0
Expenditures							
Dept: 000							
902.000 BANK CHARGES	0.00	150.00	59.96	0.00	0.00	90.04	40.0
Dept: 000	0.00	150.00	59.96	0.00	0.00	90.04	40.0
Expenditures	0.00	150.00	59.96	0.00	0.00	90.04	40.0
Net Effect for SHORELINE PPRESERVATION	1,430.00	1,280.00	-59.67	0.04	0.00	1,339.67	-4.7
Change in Fund Balance:			-59.67				

Fund: 590 - ACME RELIEF SEWER

Revenues							
Dept: 000							
460.000 USAGE&CONNECTION FEES	849,297.00	849,297.00	547,483.70	4,600.90	0.00	301,813.30	64.5
665.000 INTEREST ON INVESTMENTS	658.00	658.00	369.12	41.39	0.00	288.88	56.1
668.000 INTEREST & FEES	3,747.64	3,747.64	0.91	0.91	0.00	3,746.73	0.0
687.000 REFUNDS & REBATES	1,000.00	1,000.00	0.00	0.00	0.00	1,000.00	0.0
Dept: 000	854,702.64	854,702.64	547,853.73	4,643.20	0.00	306,848.91	64.1
Dept: 550 HOPE VILLAGE- WATER							
445.020 PENALTIES& INTEREST	0.00	0.00	0.23	0.23	0.00	-0.23	0.0
450.000 USAGE FEES	0.00	0.00	10,499.89	0.00	0.00	-10,499.89	0.0
698.000 TRANS IN FRM OTHER FUNDS	8,000.00	8,000.00	0.00	0.00	0.00	8,000.00	0.0
HOPE VILLAGE- WATER	8,000.00	8,000.00	10,500.12	0.23	0.00	-2,500.12	131.3
Revenues	862,702.64	862,702.64	558,353.85	4,643.43	0.00	304,348.79	64.7
Expenditures							
Dept: 000							
802.002 ATTORNEY SERVICES	1,500.00	1,500.00	0.00	0.00	0.00	1,500.00	0.0
803.003 ENGINEERING SERVICES	15,000.00	15,000.00	5,650.00	2,650.00	0.00	9,350.00	37.7
950.020 PRINCIPAL PMTS ON JOINT VENTUR	8,000.00	8,000.00	0.00	0.00	0.00	8,000.00	0.0
956.001 OPERATING & MAINT EXP	263,000.00	263,000.00	209,970.67	71,914.61	0.00	53,029.33	79.8
956.003 HOCH ROAD #697 EXP	1,364.00	1,364.00	183.89	0.00	0.00	1,180.11	13.5
995.001 INTEREST on BONDS	450,155.00	450,155.00	29,566.63	0.00	0.00	420,588.37	6.6
Dept: 000	739,019.00	739,019.00	245,371.19	74,564.61	0.00	493,647.81	33.2
Dept: 550 HOPE VILLAGE- WATER							
956.001 OPERATING & MAINT EXP	5,000.00	5,000.00	7,511.28	7,511.28	0.00	-2,511.28	150.2
HOPE VILLAGE- WATER	5,000.00	5,000.00	7,511.28	7,511.28	0.00	-2,511.28	150.2
Expenditures	744,019.00	744,019.00	252,882.47	82,075.89	0.00	491,136.53	34.0
Net Effect for ACME RELIEF SEWER	118,683.64	118,683.64	305,471.38	-77,432.46	0.00	-186,787.74	257.4
Change in Fund Balance:			305,471.38				
Net Effect for ENTERPRISE FUNDS	120,113.64	119,963.64	305,411.71	-77,432.42	0.00	-185,448.07	
Grand Total Net Effect:	12,235.64	-585,317.36	-43,043.29	-40,074.01	0.00	-542,274.07	

BALANCE SHEET

Page: 1

5/7/2015

2:25 pm

ACME TOWNSHIP

As of: 3/31/2015

Balances

Fund: 101 - GENERAL FUND

Assets

001.000 CASH-CHECKING	807,234.62
004.000 MONEY MARKET	297,149.14
005.000 HIGH YIELD	156,731.47
072.000 G.T. COUNTY SEPTAGE BOND/LOAN	138,410.66
102.000 DUE FROM OTHER FUNDS	79,836.71

Total Assets

1,479,362.60

Liabilities

202.000 ACCOUNTS PAYABLE	251.46
228.200 STATE WITHHOLDING TAXES	316.61
231.200 OTHER PAYROLL DEDUCTIONS	2,008.95
339.000 DEFERRED REVENUE	65,766.20

Total Liabilities

68,343.22

Reserves/Balances

390.000 Fund Balance	916,633.62
393.000 Assigned Fund Balance	411,920.00
398.000 Change in Fund Balance	82,465.76

Total Reserves/Balances

1,411,019.38

Total Liabilities & Balances

1,479,362.60

Fund: 206 - FIRE FUND

Assets

001.000 CASH-CHECKING	82,008.21
123.000 PREPAID EXPENSE	290,657.08

Total Assets

372,665.29

Reserves/Balances

390.000 Fund Balance	380,526.71
398.000 Change in Fund Balance	-7,861.42

Total Reserves/Balances

372,665.29

Total Liabilities & Balances

372,665.29

Fund: 207 - POLICE PROTECTION

Assets

001.000 CASH-CHECKING	155,767.60
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Total Assets

155,767.60

Reserves/Balances

390.000 Fund Balance	144,766.00
398.000 Change in Fund Balance	11,001.60

Total Reserves/Balances

155,767.60

BALANCE SHEET

ACME TOWNSHIP

As of: 3/31/2015

Balances

		<u>Total Liabilities & Balances</u>	<u>155,767.60</u>
Fund: 209 - CEMETERY FUND			
Assets			
	001.000 CASH-CHECKING		5,152.07
		<u>Total Assets</u>	<u>5,152.07</u>
Liabilities			
		<u>Total Liabilities</u>	<u>0.00</u>
Reserves/Balances			
	390.000 Fund Balance		4,631.59
	398.000 Change in Fund Balance		520.48
		<u>Total Reserves/Balances</u>	<u>5,152.07</u>
		<u>Total Liabilities & Balances</u>	<u>5,152.07</u>

Fund: 212 - LIQUOR FUND			
Assets			
	001.000 CASH-CHECKING		825.54
	004.000 MONEY MARKET		12,192.27
		<u>Total Assets</u>	<u>13,017.81</u>
Reserves/Balances			
	390.000 Fund Balance		12,849.62
	398.000 Change in Fund Balance		168.19
		<u>Total Reserves/Balances</u>	<u>13,017.81</u>
		<u>Total Liabilities & Balances</u>	<u>13,017.81</u>

Fund: 224 - SHORELINE PPRESERVATION			
Assets			
	001.000 CASH-CHECKING		1,377.28
		<u>Total Assets</u>	<u>1,377.28</u>
Reserves/Balances			
	390.000 Fund Balance		1,436.95
	398.000 Change in Fund Balance		-59.67
		<u>Total Reserves/Balances</u>	<u>1,377.28</u>
		<u>Total Liabilities & Balances</u>	<u>1,377.28</u>

Fund: 225 - FARMLAND PRESERVATION
Assets

BALANCE SHEET

Page: 3

5/7/2015

2:25 pm

ACME TOWNSHIP

As of: 3/31/2015

Balances

Fund: 225 - FARMLAND PRESERVATION

Assets

001.000 CASH-CHECKING	198,496.83
004.000 MONEY MARKET	5,197.16
102.000 DUE FROM OTHER FUNDS	1,129.00

Total Assets	204,822.99
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Liabilities

214.000 DUE TO OTHER FUNDS	11,290.00
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Total Liabilities	11,290.00
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Reserves/Balances

390.000 Fund Balance	634,272.71
398.000 Change in Fund Balance	-440,739.72

Total Reserves/Balances	193,532.99
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Total Liabilities & Balances	204,822.99
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Fund: 226 - PARK and RECREATION FUND

Assets

001.000 CASH-CHECKING	16,098.85
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Total Assets	16,098.85
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Liabilities

202.000 ACCOUNTS PAYABLE	279.08
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Total Liabilities	279.08
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Reserves/Balances

390.000 Fund Balance	9,835.94
398.000 Change in Fund Balance	5,983.83

Total Reserves/Balances	15,819.77
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Total Liabilities & Balances	16,098.85
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Fund: 227 - NEW URBANIST TOWN CENTER

Assets

001.000 CASH-CHECKING	27,886.95
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Total Assets	27,886.95
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Reserves/Balances

390.000 Fund Balance	27,880.67
398.000 Change in Fund Balance	6.28

Total Reserves/Balances	27,886.95
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Total Liabilities & Balances	27,886.95
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Fund: 246 - TWP IMPROVEMENT REVOLVING FUND

BALANCE SHEET

ACME TOWNSHIP

As of: 3/31/2015

Balances

Fund: 246 - TWP IMPROVEMENT REVOLVING FUND

Assets

001.000 CASH-CHECKING

50,000.00

Total Assets

50,000.00

Reserves/Balances

390.000 Fund Balance

50,000.00

Total Reserves/Balances

50,000.00

Total Liabilities & Balances

50,000.00

Fund: 590 - ACME RELIEF SEWER

Assets

001.000 CASH-CHECKING

1,227,603.84

004.000 MONEY MARKET

196,712.93

132.000 SEPTIC PLANT

470,853.00

133.000 ACCUMULATED DEPRECIATION

-65,737.06

152.000 WATER SYSTEMS

177,000.00

153.000 ACCUMULATED DEPRECIATION-WATER

-60,475.00

154.000 SEWER SYSTEMS

11,611,103.07

155.000 ACCUMULATED DEPREC-SEWER

-5,180,171.06

160.000 LOAN ACQUISITION FEES

1,723.00

161.000 ACCUM AMORT LOAN ACCQU FEES

-1,723.00

Total Assets

8,376,889.72

Liabilities

202.000 ACCOUNTS PAYABLE

1,471.63

250.000 BONDS PAYABLE LONG TERM

1,187,782.00

250.001 ACCR.INTEREST ON BONDS

9,130.00

250.100 Current portion of Bonds

206,362.00

251.002 PREMIUM OF REFUNDED BONDS

59,054.00

300.000 BONDS: SEPTAGE LONG TERM

309,215.00

Total Liabilities

1,773,014.63

Reserves/Balances

390.000 Fund Balance

963,651.49

395.000 RETAINED EARNINGS

5,334,752.22

398.000 Change in Fund Balance

305,471.38

Total Reserves/Balances

6,603,875.09

Total Liabilities & Balances

8,376,889.72

Fund: 701 - TRUST AND AGENCY

Assets

001.000 CASH-CHECKING

35,958.34

100.000 ACCOUNTS RECEIVABLE

65,766.20

Total Assets

101,724.54

BALANCE SHEET

Page: 5

5/7/2015

2:25 pm

ACME TOWNSHIP

As of: 3/31/2015

Balances

Fund: 701 - TRUST AND AGENCY

Liabilities

214.000 DUE TO OTHER FUNDS	69,675.71
255.000 ESCROW DEPOSITS	2,083.26
282.054 TRAVERSE CITY BULL DOGS ATHLE	4.97
282.064 ARLINGTON RIDGE/GTTC	865.00
282.072 GRAVLIN, BEVERLY/PROPERTY TAX	200.00
282.073 TRAVERSE BAY RV RST 5555 M72	2,500.00
282.074 GRAND TRAVERSE RESORT	1,500.00
282.141 AMENDMENT 141 IMMANUEL REZONIN	9,505.16
282.210 EASTWOOD CUSTOM HOMES	225.80
282.901 VGT PHASE 1 SITE PLAN/SUP	15,164.64

Total Liabilities 101,724.54

Total Liabilities & Balances 101,724.54

Fund: 703 - CURRENT TAX COLLECTION

Assets

001.000 CASH-CHECKING	22,089.65
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Total Assets 22,089.65

Liabilities

202.000 ACCOUNTS PAYABLE	310,823.09
273.000 UNDISTRIBUTED TAX	-400,416.48
274.000 EARNED INTEREST UNDISTRIBUTED	133,361.16

Total Liabilities 43,767.77

Reserves/Balances

390.000 Fund Balance	-21,678.12
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Total Reserves/Balances -21,678.12

Total Liabilities & Balances 22,089.65

Fund: 817 - ARNOLD ROAD SPECIAL ASSESSMENT

Assets

045.000 RECEIVABLE-CURRENT	505.53
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Total Assets 505.53

Liabilities

339.000 DEFERRED REVENUE	505.53
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Total Liabilities 505.53

Total Liabilities & Balances 505.53



ACME TOWNSHIP PLANNING COMMISSION MEETING
ACME TOWNSHIP HALL
6042 Acme Road, Williamsburg MI 49690
April 13, 2015, 7:00 p.m.

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE : 7:00PM

ROLL CALL:

Members Present: D. White, B. Balentine, M. Timmins, S. Feringa, K. Wentzloff, T. Forgette

Members Excused: J. DeMarsh, D. Rosa, M. Binkley (resigned)

Staff Present: N. Lennox, Zoning Administrator; J. Jocks, Township Counsel; J. Iacoangeli, Township Planner

A. LIMITED PUBLIC COMMENT: Opened at 7:03pm

J. Hefner, 4050 Bayberry Lane. Discouraged by the resignation of Chris Grobel but not surprised. A wonderful consultant and was impressed when he hired by township for this project. Feels the current condition of the VGT storm water retention system/ponds as designed by Grobel is not being implemented and an alternative proposed by developer is being used. Incidents of runoff reaching the creek and bay last fall as reported by the Record Eagle show poorly for the township and concerned that system is inadequate to protect these resources.

K. Wentzloff . Noted the difference between current condition and completed build-out with respect to above incidents and the present condition is not the final design.

J. Iacoangeli - C. Grobel did not design the ponds but recommended that the developer use a created engineered wetland and is part of the MDEQ best management practices for stormwater runoff. The developers, in their conceptual plan submitted to the planning commission as part of the SUO, showed that system. After that system was approved as part of the conceptual plan. The final engineering was then started. The two stormwater basins currently present are the first of many ponds. The east and west basins are designed to capture the runoff from the site, and additional ponds are to be built this spring/summer that will be part of the engineered wetland. The drawings seen to date have one of the basins with three ponds and one basin will have four ponds. They will all have the treatment train system and they will all be vegetated and planted according to the best management practices. When the final plans are issued (probably in a couple weeks), the pond system will be even more advanced than what it was conceptually thought of three years ago. What we are seeing now is partial construction of the stormwater treatment system.

J. Hefner – If I were the DEQ, I would be more concerned about the construction phase since the build out would have a completed stormwater system.

J. Iacoangeli- DEQ is concerned about it which is why violations have been issued for stormwater discharge into the creek. The developers put enhanced stormwater controls (basin pumping, extra fencing and straw, installed a filtering system last fall) during the construction phase. After approval of the final engineering phase, they will start the final construction of the treatment train system per the SUP that was approved by the planning commission.

J. Hefner – Will this system be similar in design to what Grobel recommended?

J. Iacoangeli - Grobel recommended what is referred to as an engineered wetland system which has a retention basin and then has a series of pools that the water will infiltrate as it moves through the system.

J. Hefner – Why are they not doing that?

J. Iacoangeli- They are going to do that and the last part of it will be done this year.

J. Hefner – I bring this up because some of the planning commission were here during the process and none of us wanted to see our township on the front page of the Record Eagle and clay runoff showing up in the bay. And now we have another project coming up tonight with another creek (Yuba). Want to make sure the same thing does not happen again and we learn from past experience not sure I really heard that.

J. Iacoangeli- A project of this size, considering it really did not get construction started to the end of June/July, and the entire region was hit by significant rainfall in September/October which then further diminished the amount of construction they could get done and typically would take two construction seasons. Additionally, in the coming months, work on M-72 and roundabouts will commence and is also part of

- the infrastructure roadwork for this project. The project is large in scope, it is more than just building a Goodwill or Advanced Auto. This is a 120 acre development along with Meijer, along with major improvements to the regional and county roadway system that are going to take two full construction seasons to actually build out. There are going to be some issues that come up periodically that will need to be monitored and that is why the state and county agencies are there, Gosling Czubak is out there periodically during rain events and have an inspector on site. There are a lot of eyes on these projects.
- J. Hefner – But Grobel’s eyes were not on the project from the time it got improved until after we had an event.
- J. Iacoangeli- Grobel was on site 2-3 weeks after they started construction and my first report from him was the weekend of July 4th. It was then dry, and then we had the significant rains in September and he was back out again. During that time period, there were other inspectors out there in the field.
- J. Hefner – Grobel stated the system as designed would handle two 100 year storms back to back and that was impressive. Obviously that was not the case.
- K. Wentzloff – The system that was out there at that particular time is not the final system. This is the construction phase and still needs to be stabilized.
- J. Iacoangeli – The key point here which people tend to forget that the system, when finally built to completion, is built in design for part of the site to be impervious and a part to be vegetated. In the condition it is now there is very little but some vegetation growing but the site has not been stabilized. Once the site is stabilized, then based on all of the calculations, the system will work as designed. But, when you have a wide open system like it was in September where they had taken all of the topsoil off, that entire 120 acre site was subject to runoff. The engineering that goes into design of the basins for the completed development is based on the part that is going to be developed and the part that is going to be vegetative and then the coefficients and calculations are run.
- J. Hefner - I still have a hard time believing that MDEQ and GT County Soil and Erosion would allow the 120 acres to be exposed without strict, temporary measures to keep the runoff from going into the creek and bay.
- J. Iacoangeli – The soil erosion and sedimentation plans were approved by the County and a permit was issued by the County. The developers submitted soil and erosion plans following best management practices to the County, they were approved and had a permit before they came before the planning commission and did everything they were supposed to do but it just wasn’t enough based on the amount of rainfall.
- K. Wentzloff – Some of the issues that come up, we, as a planning commission and township, have to rely on those who issue the permits. As far as what is to come, the system will be different from what you see now.
- J. Hefner – I just hope that we as a township and planning commission learn from this past experience with respect to future projects. Personally I would like to commend those of you on the planning commission for you dedication and service to making Acme a better township.
- B. Kelley, Ridgecrest Drive. Read written statement regarding VGT storm water and that we still don’t have creek monitoring at this time. There was an agreement in November that said monitoring would be done on a weekly basis. It is not occurring.
- J. Iacoangeli – Monitoring starts June 1st for parameters based on the plan that was approved by the township and developer. Plan is online with weekly and monthly testing. It starts in June as it is one year. Today, a report was posted online from the last rain event.
- S. Feringa- There was report done prior.
- J. Iacoangeli – There was a full baseline report done prior to construction.

Public comment closed at 7:21pm

- B. APPROVAL OF AGENDA:** Motion by Timmins to approve agenda; seconded by White. Motion passed unanimously.
- C. INQUIRY AS TO CONFLICTS OF INTEREST:** None
- D. CONSENT CALENDAR:** The purpose is to expedite business by grouping non-controversial items together for one Board motion without discussion. A request to remove any item for discussion later in the agenda from any member of the Board, staff or public shall be granted.
- a) RECEIVE AND FILE:**

If you are planning to attend and are physically challenged, requiring any special assistance, please notify Cathy Dye, Clerk, within 24 hours of the meeting at 938-1350.

1. **Draft Unapproved Minutes of:**
 1. Township Board minutes 03/03/15
 2. Parks & Rec minutes 1/22/15

b) **ACTION:**

1. **Draft Unapproved Minutes of:**
 1. Planning Commission minutes: 03/09/15

E. **ITEMS REMOVED FROM THE CONSENT CALENDAR:**

1. None

Motion by Timmins to approve consent calendar; supported by Balentine. Motion passed unanimously

F. **CORRESPONDENCE:**

Letter dated 4/13/15 from C. Abernathy regarding Traverse Bay RV Resort Expansion SUP read into meeting. Copy attached to minutes.

Letter dated 4/10/15 from Tim Norman, Grand Traverse Resort & Spa, regarding Traverse Bay RV Resort Expansion SUP read into meeting. Copy attached to minutes.

Letter dated 3/31/15 from Haggards Plumbing and Heating regarding Traverse Bay RV Resort Expansion SUP read into meeting. Copy attached to minutes.

Voice mail, 4/13/15 from Lot 4 supporting RV Park expansions.

G. **PUBLIC HEARINGS:**

- a) Traverse Bay RV Resort Expansion SUP – Opened hearing at 7:29pm.

B. Kelley- Provided drawing for planning commission members and read a prepared statement that is attached to the minutes.

Public hearing closed at 7:33pm.

H. **NEW BUSINESS:** Traverse Bay RV Park Site Plan Review

J. Iacoangeli – Discussed in detail the Beckett & Raeder site plan review that was in the planning commission packet and part of the agenda. The packet and review included a storm water calculation review from Gosling Czubak, an Impact Assessment Statement prepared by JML Design Group for the applicant, letters of proposed modifications to existing plan, reviews and comments from Grand Traverse Metro Fire, MDEQ Environmental Quality, MDEQ campground construction permit, Grand Traverse County Soil and Erosion, Grand Traverse County DPW, and Grand Traverse County Health Department. David Graves of MDEQ states that the application is presently for connection of 12 sites to the existing septic system. Grand Traverse County Health Department will do joint inspections with the MDEQ for a new system and also does “flow monitoring”. Becket & Raeder also requested and receive a Storm Water Control Plan Review and recommendations from a 3rd party firm called Cardno, Inc.

Emphasized in the review in several instances is the need for enhanced storm water control measures on this project due to the proximity to the wetlands. They are in compliance with local ordinance, however, there are some steep slopes that need to be addressed and added protection adhered to. The Cardno report points that out. Other key items with respect to the review include how they plan to remove household waste (central facility or otherwise), landscaping, and how they plan to address some of the items in the Cardno review such as the use of enhanced storm water measures and verification from the Health Department that the current septic system capacity si able to handle the 12 additional lots.

B.Balentine – How can we approve if MDEQ and Health Department have not approved the additional 80 units.

N. Lennox- The Health Department does not have to approve; they are under the jurisdiction of the of the MDEQ and work in conjunction with the DEQ and may do joint inspections but the MDEQ is the responsible agency for

the permitting. They have all of the plans.

J. Iacoangeli – The memo states that the County has spoken with Dave Graves of MDEQ who states the approval is for the connection of the 12 additional sites to the existing system; not the 80.

M. Timmins – So are we only looking at approving the 12 sites tonight and not the 80?

K. Wentzloff- The sheets that I would need to sign off on include all 80 sites or full build-out which is where I am confused.

S. Feringa – The agencies only review what you are going to do right now. Catch-22 situation since they look at the entire build out but only review the current portion which in this case is the 12 sites.

M. Timmins – Section 1.1. of the Cardno report states “the site complies with the mandated 25 foot setback of any structure from a wetland habitat except for the proposed culver location under the proposed road that connects the east and west overlooks drives. This culvert will be set within the wetland habitat and the surrounding road fill will partially fill as well as encroach upon the existing wetland.” This concerns me.

K. Wentzloff – Asked if applicant would like to address.

Fred Campbell on behalf of owner addressed concerns.

- Currently stuck in loop as Phases III and IV were previously approved.
- Culvert location is not a defined creek or stream as indicated on GIS maps.
- The GIS map makes it appear as if this location is a creek the size of Yuba
- If you continue with this same “creek”, it “crosses” four different holes of the golf course; from personal experience this is not the case. The “creek” does not exist on any of those holes.
- We have approval from DEQ for a 36” corrugated culvert; the Cardno review recommends in the report a box culvert which is to allow for aquatic or semi-aquatic organisms to transfer from one side of the area to the other. This is not a stream or defined body of water it is basically a wetted vegetative area like a detention pond that retains water.
- Toe of slope in the 12 unit addition (area 3A) is greater than 312 feet from Yuba Creek. Averages out to 400 ft.

J. Iacoangeli – Having worked with communities in the past with respect to watersheds in relation to the Cardno review is that over time, the culverts will begin to clog which then changes the ecological conditions and habitat. The box culvert provides a greater area to allow free transfer from one side to the other. If, you look around the state road projects, they are removing the round culvert type and replacing with the box culvert in order to reduce the flow resistance. I think it is a reasonable recommendation. Additionally, though the area may be 312 feet from the creek, our township landscape maps have this entire area as an existing sensitive area. You have the creek and all of the riparian areas next to it that needs to be addressed. The site is a micro version of VGT and the Cardno report is basically laying out the same technologies to be used here. You have to use enhanced measures for stormwater management and control due to the types of soils, proximity to the creek and in some instances the steep slopes; not just the basic best management practices.

F. Campbell – The area of the culvert is the only area where we would be encroaching on the wetland setbacks and this would occur only during construction. We are asking for approval of Phase 3A. In Gosling Czubak review, they were interested in the stormwater flow from retention basins into the wetlands. If we were to have a significant rain event, the detention basins would allow a slow release of storm water. When the entire project was submitted 5 years ago, plans were approved by the township, the County Soil and Erosion, and MDEQ. When we re-applied in January, one of the things that changed was the County ordinance. If you compare the plans from five years ago to today, you will notice that there is a change of 33,000 more gallons held today.

M. Timmins- Additional question on septic fields

F. Campbell - An additional 49 units/lots can be added to existing septic field. MDEQ (D. Graves) inspects the site every year to re-license and is very familiar with the site. The septic fields are designed for each lot to handle 40 gallons per day for four months. Quantity is monitored on a daily, weekly, and monthly basis. The proposed

If you are planning to attend and are physically challenged, requiring any special assistance, please notify Cathy Dye, Clerk, within 24 hours of the meeting at 938-1350.

12 lots of Phase 3A would go to existing system. As a reminder, five years ago DEQ issued a permit for the additional 81 units, the County approved the approved the 81 units and the township issued a land use permit for the additional 81 units. The only thing that has changed was the economics. To respond to townships concerns with previous stormwater issues, in addition to the Cardno Report, and the Gosling Czubak Report, the developer on his own hired on his own Jozwiak Consulting. The Jozwiak Report adds additional measures to protect the wetlands and specifies a specific construction sequence to be able to minimize impact, build the road and a cul-de-sac as required by GT Metro Fire.

Balentine - How long will this take?

D. Scheppe (developer) - Immediately. Minimal disturbance and seeding as fast as possible. As owner I am there 180 days and do not want anything to happen. This project, it is a slower way, I don't want to do 81 at one time, but this 12.

Balentine – Who is to insure this occurs in writing.

J. Iacoangeli- The methodology outlined by Jozwiak is not provided on any drawings at this time

F. Campbell – Tried to include with packet but was too late.

S. Feringa – Show us limits of construction

Balentine – Who is really knowledgeable about managing construction in/and around Yuba Creek to insure protections

J. Iacoangeli – That would be Cardno by reviewing revised drawings. That is all that can be done.

Balentine – Environmental impact study needed?

J. Iacoangeli – We already know what the impact. What we are looking at right now is Phase 3A.

F. Campbell – We already had approval for the 81 units. If we had erased all other phases and showed only 3A would that have made it easier? Unfortunately, if we were to do that, the MDEQ, knowing they had already approved the 81 units, it would be confusing to them. GT Soil and Erosion is a similar issue. Same issue with the land use permit as it expires before

J. Iacoangeli – We are looking at the 12 units only tonight; the developer just showed the entire build out. Developer has to make a decision if they are looking for site plan approval for Phase 3A only, or the entire build out to include Phase 3 and Phase 4. If the applicant is looking for approval on the additional 81 lots, then we would be looking for the need to come back next month due to a number of issues raised in public comment, agency reviews and the site plan review that need to be addressed and resolved. The additional 12 sites is lot more manageable than the 80.

F. Campbell – We asked for approval of the 12 additional units. The planning commission asked to see the overall buildout of the 80 units.

J. Iacoangeli - Recommend to planning commission to approve Phase 3A for the 12 units with stipulations.

K. Wentzloff – The application just doesn't seem to match what we would be approving.

F. Campbell – We ask for site plan approval of the 12 units only.

Motion by Feringa to recommend for approval to the Acme Township Board the major amendment to 99-03SUP Phase 3A and the site plan submitted for the construction of 12 additional RV sites with the following stipulations:

- 1) The Park Model buildings will not have permanent foundations and must have wheels;

- 2) All agency reviews and approvals received;
- 3) The Coach Houses can be permanently affixed to the RV unit site;
- 4) Incorporate recommendations from the Cardno review;
- 5) Submit drawing that shows limits of construction along with enlarged site plan of the 12 additional RV site area and work;
- 6) Conform to the Acme Township ordinance for native landscape plantings;
- 7) The approved site plan package be signed by the Chairperson of the Planning Commission and the Applicant, or their representative;
- 8) Prior to issuance of Land Use Permit, final plans to be reviewed by Beckett & Raeder, Cardno, and any other consultants of Beckett & Raeder to insure recommendations have been followed.

Timmins support the motion. Motion carried unanimously.

I. OLD BUSINESS:

a) US 31/M72 Business District: Architectural Standards revision – J. Iacoangeli presented revisions of Architectural Standards. Concerns of Acme Business Association were taken into consideration. T. Forgette identified a mistake with the document regarding the storm water component. J Jocks suggest we create a formal document with adds/removes for a recommended approval document for next month.

J. PUBLIC COMMENT & OTHER PC BUSINESS

J. Hefner – Thank you to PC for working hard.

Closed at 8:57pm

1. Zoning Administrator update on projects: Getting inquires but nothing concrete. K. Wentzloff commented on trailer at Tractor Supply that appears to be used for signage. T. Forgette commented on unclear entrance for Tractor Supply. D. White commented that site appears to mimic site plan we approved.
2. Planning Consultant: Form based code work; final engineering plans for storm water at VGT. Construction starting on M-72 next week.
3. P C Education etc.: None

ADJOURN: Motion to adjourn by M. Timmins. Support by B. Balentine. Motion passed unanimously. 9:03pm

To: Acme Township Planning Commission
From: Brian Kelley, Acme Township
Date: April 13, 2015

Good Evening,

The RV park looks like a well run business. I am not opposed to the expansion, but I have very serious concerns about the proximity to the creek.

In reviewing the packet materials for this project, I could not find a plan or document that depicted the location of the development in relation to Yuba Creek. That critical view is conspicuously missing.

Using a plan document, google satellite images, and google map data, a friend assembled a scale composite image that shows the proximity of the creek on the east side of the project expansion, and also running through the middle of the project. I am including that with my comment and have provided you a copy. The project is obviously trying to get as close as absolutely possible to the creek and wetlands. This raises the question of what we consider the actual border - where do the wetlands begin? We need an impartial determination of that.

As we have learned from other projects, clay cannot be filtered or stopped by silt fences and straw bales. This project features clay soils, and extremely steep slopes. It is also located essentially on top of a branch of Yuba creek.

That is a trifeca of challenges - clay, steep slopes and proximity to one of our cold water trout streams.

I spoke with Dan Thorell of the Grand Traverse Health Department regarding this project. He also noted the lack of documents depicting the creek. I asked him to pull up the google imagery of the site. He was very surprised and said he unaware of the proximity of the creek to the development. He was very concerned about it and said he would

be contacting David Graves of the DEQ. He confirmed that the DEQ review only looked at the 12 units and not the rest of the expansion project. The email from the DEQ reflects that. They are only looking at the 12 units, not the entire proposed expansion. The GT health department has also ONLY looked at the 12 units of the expansion, not the entire proposed 80.

This project must be fully and knowingly reviewed by the DEQ and county health before it is approved by the township.

The scheduling of this project is described in plan documents as "market driven". That, and the schedule, raise concerns about earth and soil change scheduling. The plan calls for planting exposed soils only after project completion. The project schedule indicates construction from Fall 2015 through December 2016. That could be a very long period of exposed soils on the site, washing into the creek and bay. Acme has left this to chance before with very poor results.

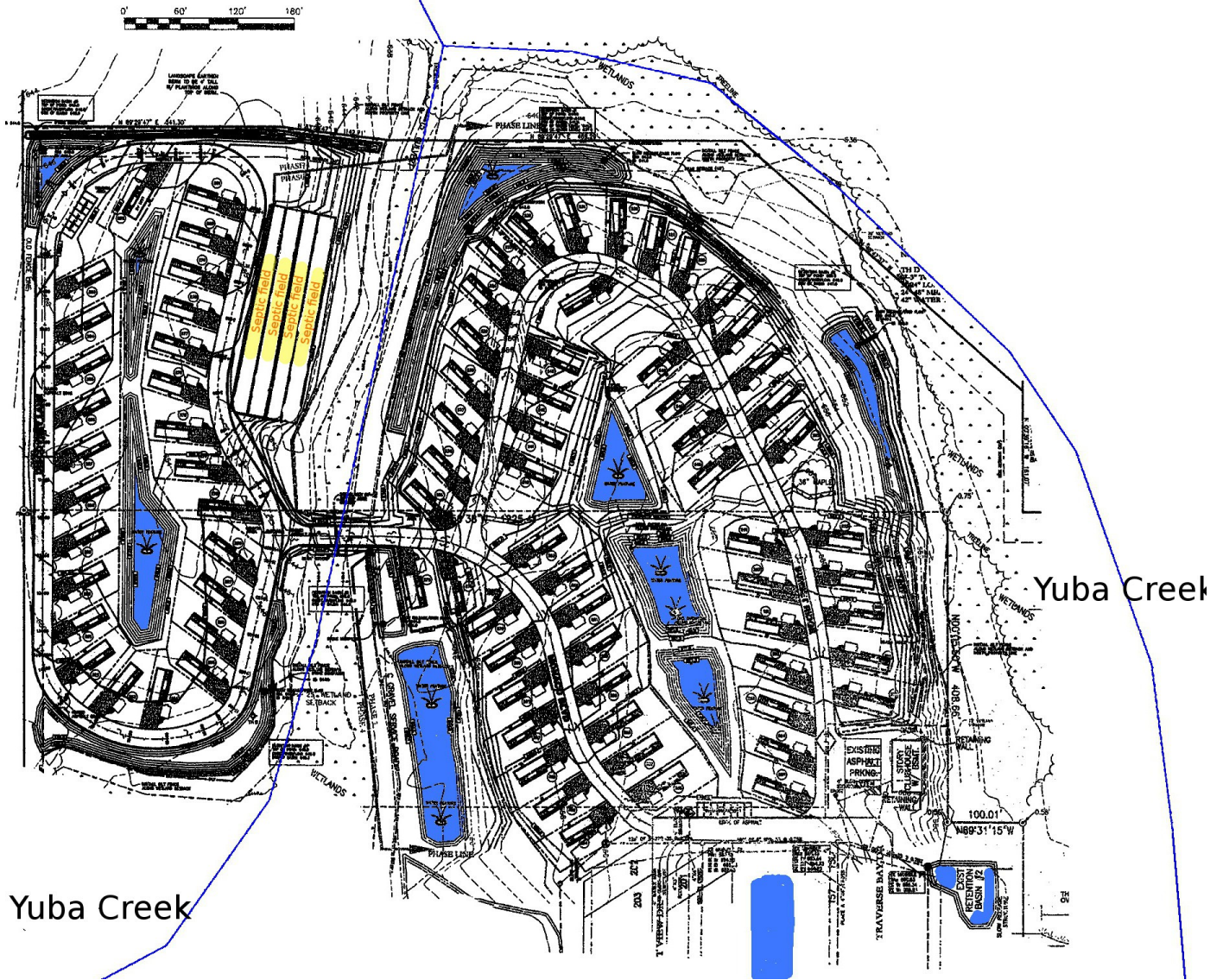
Based on the large number of issues found in the stormwater review, I am not convinced they have all been found. Especially given the potential for the DEQ to require revisions.

Our Acme Master Plan requires that our Creeks and wetlands are protected. The complexity of this project, and attempt to get as close as possible to wetlands demands great scrutiny. The township should require the developer to hire an expert to review the potential impact of this project before moving forward.

Thank you,

Brian Kelley

Yuba Creek



Yuba Creek

Yuba Creek



The Metro Insider

PROUDLY SERVING ACME, EAST BAY AND GARFIELD TOWNSHIPS SINCE 1980

Patrick J. Parker ~ Fire Chief

Volume # 8
Issue # 2

In This Issue...

- Open Burning Clarification Page 1
- From Chief Parker Desk... Page 2
- Asst Chief Flynn Desk Page 3
- Notable Achievements Page 4
- All You Can Eat Pancakes Page 5



A note from the editor

...

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Open Burning Acme, East Bay and Garfield Township

Pursuant to the Fire Prevention Ordinances of the above townships and state law all open burning of leaves, grass clippings, and yard waste is **PROHIBITED**.

Any and all fires and permits are subject to be revoked and/or prohibited due to unfavorable weather or smoke conditions and may be ordered extinguished by Metro Fire personnel.

Recreational campfires in established fires rings, portable outdoor fireplaces and other containment devices ARE ALLOWED WITH NO PERMIT so long as the fire is kept to a maximum size of 3 feet around and no higher than 2 feet of flame height. These fires must be a minimum of 25 feet from a structure or adjoining property or any other potentially combustible items to which the fire could spread. Only dry hardwood fuels may be used which do not produce noxious smoke conditions.

Agricultural fires for the burning of tree farm stumps, trees and branches only (no manmade materials or manufactured lumber) are allowed with a burn permit from the Grand Traverse Metro Fire. These permits are FREE and can be obtained by filling out a form on our website. If internet/ email is not available you may call 947-3000 and leave your name, address of burn location and dates and times of the proposed burn.

Bonfires are defined as ceremonial fires that may exceed the 3 feet round by 2 feet high requirement. PERMITS ARE REQUIRED for these fires and a plan must be submitted to this office showing location of fire on the site plan of the property, containment methods, extinguishment methods on hand, security perimeter around the fire, and items to be burned as fuel. These fires must be a minimum of 50 feet from any structure, adjoining property or other combustible material to which the fire could spread. For these events please fill out the Special Events application and submit to this office all required information.

*******All fires and permits are subject to be revoked and/or prohibited due to unfavorable weather or smoke conditions and may be ordered extinguished by Metro Fire Department personnel. All fires must be attended at all times and completely extinguished with water. If a fire should escape the permit holder, all fire department expenses related to extinguishment will be invoiced to the permit holder.**

We have responded to multiple illegal burns, wildfires and controlled burns that got out of control. Please help us by following the burn guidelines.



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The Metro Insider

PROUDLY SERVING ACME, EAST BAY AND GARFIELD TOWNSHIPS SINCE 1980

PAGE 2

From the desk of Chief Pat Parker...

Happy Spring to you all! This was another tough winter but we all made it through and completed our mission with distinction. Is it just me or are things just hectic all the time? I have come to the realization that progressive organizations that are on the move and raising the bar on themselves have to move at a faster pace. Every once in a while you have to stop and catch your breath and take a look at the direction and make sure we are heading down the right road. We are currently doing that by looking at our 3-5 year strategic plan and then potentially change course on our 1 year plan. There is a lot going on here at Metro so I thought I'd pass along a few things to you all.

As many of you now know Meredith Hawes our Fire & Life Safety Educator resigned to take a full time job with the National Fire Protection Association where she had been working part-time. This is one of the fire services national trade association that creates and maintains codes and standards for construction, hazardous materials, response, rescue and the equipment that we use in our profession. We thank her for her seven years of service and contributions towards our public education efforts. We are moving ahead in replacing her as soon as possible. As of Friday, we have 14 applicants for that position. We hope to have someone on duty in early May.

Many have asked about Station 8. We have run into some problems with the locations we have chosen. Seems the glacier back millions of years ago deposited very dense clay around the entire Acme area that has caused problems for the Meijer project as well as the sites we have looked at within a mile from current Station 8. With dense clay you have drainage problems in that a site will not perk. Without that ability to perk, we would have to build huge water retainage ponds that would have to evaporate. We are continuing our search and have leads on 2 different sites; one on US 31 North and another one further south on Mt. Hope Road. On a good note, our RFP for architectural firms resulted in 11 firms bidding. We hope to have a firm under contract at our April board meeting.

I want to thank everyone who applied for and tested for the full time firefighter opening that we recently filled. It was a difficult and grueling process for those who applied but in the end we unfortunately only had one opening at this time. Congratulations to Kyle Clute a 9 year veteran with Metro who

landed the position. We currently have a SAFER grant into the USFA where we could hire another 3 fill timers.

I just returned from Washington DC where over 1200 Fire Chiefs from around the Country descended on our Nation's Leadership for the 2 day Congressional Fire Services Institute. The theme this year was "The Future Depends on Informed Leaders." I had the honor of representing the Northern Michigan Fire Chiefs' Association along with 12 other Michigan Chiefs from across the State. We hosted a legislative breakfast where most of the Congressmen and Senators from our State either stopped by in person or sent their staffers. First through the door was our very own 1st Congressional District Dr. Dan Benishek. I had a good 20 minute one on one talk with him where my comments were directed towards the funding of the US Fire Administration and the National Fire Academy. Next year's budget shows large decreases to the Fire Administration along with cuts to SAFER and the AFG grant process. This department has received close to \$2.6 Million in grants from these programs. I reiterated the costs that the Affordable Health Care Act has had on our department as well as into the future. Both of our US Senators Debbie Stabenow & newly elected Gary Peters both stopped by in person. Chief Peterson from Saginaw Township and I got a personal tour of the Pentagon from Captain Buzzella one of our past USCG Air Station commanders who is on loan to the Chairman of the Joint Chiefs of Staff. I feel much better about our place in this world after this tour. We concluded the event with laying a wreath from the Michigan Fire Service at the Tomb of the Unknown Soldiers and at the evening dinner we had the privilege of having Vice President Joe Biden as our keynote speaker. I think we did some good, but only time will tell.



Thanks to everyone for their hard work and dedication. We couldn't do what we do without everyone working hard and maintaining our positive attitude and exceptional customer service.

Until next time, BE SAFE OUT THERE!

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The Metro Insider

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PAGE 3

From the desk of Assistant Chief Flynn...

Training is one of those required elements of any organization which increases the abilities of those less experienced members while honing the skills of the even the most seasoned veterans. The attitude toward training varies in any organization depending on the culture of the department and it is the job of higher management to instill in every member the need for good quality and relevant training.

Training could be either a formal lecture or informal hands-on evolutions or a combination of both on any given subject area. The fire service is comprised of many different disciplines, which make the challenge of training each member of the fire department even

harder. Training is sometimes taken lightly and many times the lack of good training determined the outcome of the emergency. "If we only had trained more on that subject" is often remarked after a less than stellar effort following a call.

After Action Reviews are conducted after significant emergencies to determine if the proper guidelines were followed and could effective training have altered the outcome. We as a department strive to improve daily training and improve each member's skills and abilities in order to allow us to do our job at the highest level. The culture of the department should emphasize that training along with physical fitness be the cornerstone of its commitment to the community and the department's members.

- Asst. Chief Flynn

Don't train until you get it right, train until you can't get it wrong



FF Mansfield and FF Winters at Hazardous Materials Technician training in Lansing



Ice Rescue training on Arbutus Lake

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PAGE 4

Full Time Hire - Lt. Kyle Clute

Metro Fire added to their Full Time suppression roster Lieutenant Kyle Clute. Effective April 2015, Kyle Clute and his 9 years of experience as Firefighter, 5 years experience as Lieutenant and many certifications will join the suppression roster as Full Time.

Lt. Clute has had multiple notable accomplishments in his career including Firefighter of the year in 2013, Life Saving in July 2014 where he rescued a citizen from a burning apartment. Lt. Clute is also a Hazardous Material Technician, Fire Inspector, Water Rescue and Ice Rescue Tech. and many others.

Lt Clute also serves as the department Public Information Officer and as a Juvenile Fire Setter Interventionist.

Congratulations Lt. Kyle Clute!



Instructor of the Year

On March 31st, the 2014-2015 Northwest Regional Training Center class presented Lt. Mike Vaughn with the honors of Instructor of the Year. The class had many instructors throughout the year and Lt. Vaughn was chosen as exemplary. Lt. Vaughn has been a part of the training center for many years and this award was very special to him.

Congratulations Lt. Vaughn!





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PAGE 5

Fire School Graduates

Congratulations to Metro's three newest fire school graduates: Jordan, Joe and Cody. We are proud of all of you and your fellow classmate's accomplishments these past six months.



Mark your calendar...

Come join us on May 3rd between 8 AM and 1 PM for all you can eat pancakes, eggs and sausage. For a small donation you can feast on the best breakfast around. Don't get caught in the long lines, get there early to beat the rush.

Trust us, you don't want to miss this delicious opportunity.

Any ladies (or gents) out there been dying to bake that super cute and delicious Pinterest or Facebook recipe? Or maybe make a batch of grandmas famous cookies? Here's your chance! We are looking for donations of baked goods for this years East Bay Pancake Breakfast Bake Sale.

If you are interested in making a donation, please contact Christine Stalsonburg via phone at (231)409-4140/Email Christine@cherrywingsrealty.com or April Caverly via phone at (231)632-4410/Email April@cherrywingsrealty.com.

Won't be able to make it to this years event? We would be happy to receive your baked goods a day or two prior at our office at 4224 N. Three Mile Road. Please contact us ahead of time if you would like to volunteer or set up a time to drop off items. We look forward to another successful year!

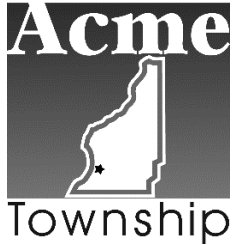
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To: Acme Township Board of Trustees

From: Tom Henkel, Facilities & Parks Manager

Date: 5/4/2015

Re: April Monthly Update

The Following is a summary of key activities underway.

Parks:

Replacement tables and benches have been distributed in Bayside, shoreline and Sayler Parks. The old tables have been separated and will be moved to the shop to be evaluated for further use after repairs and refinishing or be junked.

Fall/spring cleanup will commence as soon as the cemeteries are done.

Bayside gate has been open since April 15 the restrooms and Sayler Park should open around may 20th.

Water is up as you know, beach grooming shall commence soon as I have time after fall/spring clean cleanup.

Fertilizing shall occur as time allows.

Have 1 different style trash can on hand as a prototype to decide if it's the style we want to go to. A lot less intrusive looking.

Cemeteries:

Fall cleanup underway, Yuba done, Acme in process.

Fertilizing will occur after clean up.

Sexton duties thus far, survey for two footings and one burial.

Made contact with Blackmore Property Maintenance they are doing our grave digging now. We should get together shortly to go over duties.

Spoils pile at Acme Cemetery moved out soon as I am finished with leaves. New Veteran flags are ordered, will be installed by Memorial Day.

Buildings/Grounds:

Contacted county road about Acme Road shoulders, they came out and graded by the lodge. Jay and I are working with them about possibly getting Acme road wedged and shoulders paved.

I have to widen the dumpster screen as the new American Waste containers are wider than Waste Managements. So I will R&R the screen with new panels and gates. ASAP. Trash day is Mondays again so I changed the Do not park sign back.

We have a new recycle curby cart in the fire hall now, for your convenience, as part of the deal.

Per Jay, I contacted three local painting firms about painting the hall. Only received one proposal back. Painting by Paul, Wash, prep, caulk same color one coat. \$11,000.00.

Equipment/Fixtures:

All major equipment has been serviced in house, and is ready to go.

Surface Water Quality Testing:

Testing was performed for April.

Beach Water Quality Testing:

Attended Beach Monitoring Stakeholders Meeting 5/8/2015

Invasive Species:

Nothing of note.

Planning:

Park Advisory Board, not meeting until fall.

Worked on budget with Jay.

Sent Jay a work progress status report.

General Activities:

Attended M.R.P.A. Spring Meeting on 4/10/2015 in Alpena.

Attended Arboriculture Society of Michigan, class at Great Lake Power at Boyne City on "Electrical Hazards and Prevention" on 4/21/2015.

To: Acme Township Board of Trustees
Planning Commission

From: Nikki Lennox

Date: 03/06/2015

THE FOLLOWING IS A SUMMARY OF KEY PLANNING, ZONING & ADMINISTRATIVE
ACTIVITIES FOR THE MONTHS OF MARCH, APRIL, 2015

Land Use Permits Issued For March and April:12.

Residential permits: Includes 2 new homes, 3 residential additions, 1 accessory building.

Commercial permits: 6.

3) new 30 x 45 storage building at 6811 E. M-72

4612 US 31 Waters Edge Assisted Living new deck

5549 S Bates TC Bulldogs Athletic Assoc. interior remodeling

6517 Bates Missionary Church remodeling

Sign Permits Issued: 2)

Planning & Zoning Projects: The Planning Commission is working on an amendment to its sign ordinance to allow static electronic signs for gas station prices and hotel vacancy signs. Careful attention is being paid to limiting luminosity and size.

US-31/M-72 Business District: The Planning Commission is re-visiting the architectural standards section of this ordinance in order to enhance the visual appearance of new buildings in this district.

The Planning Commission will continue to work on its "PC ACTION PLAN" (to-do list) which includes suggestions for researching several new ordinances and amending several others.

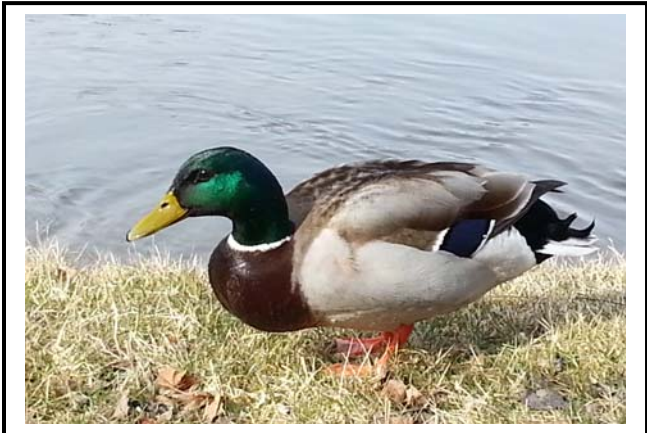
General Planning & Zoning:

The Advance Auto building at 3939 M 72 is under construction.

LochenHeath (RE Future L.L.C. properties) has been purchased by Stars and Stripes 3J L.L.C. a Drapac USA company



Grand Traverse County 2015 Equalization Report





GRAND TRAVERSE COUNTY EQUALIZATION DEPARTMENT

400 BOARDMAN AVENUE
TRAVERSE CITY, MI 49684-2577
Phone: 231.922.4772
Fax: 231.922.4447
www.co.grand-traverse.mi.us

April 14, 2015

Honorable Board of Commissioners
Grand Traverse County
Governmental Center
400 Boardman Ave
Traverse City, MI 49684

Ladies and Gentlemen:

The Grand Traverse County Equalization Department has prepared this equalization report as authorized by the County Board of Commissioners. I recommend that the Grand Traverse County Board of Commissioners adopt the proposed County equalized values in this report.

This report is a result of an equalization study in every class of real property and of the total personal property in all fourteen (14) assessing units of Grand Traverse County.

This report does not embrace any property taxed under P.A. 77 of 1951; P.A. 68 or 1963; P.A. 199 of 1974; P.A. 385 of 1994; P.A. 224 of 1995; P.A. 147 of 1992 or Section 5 of Article IX of the Constitution of the State of Michigan.

All County equalized values are subject to review and change by the Michigan State Tax Commission until the fourth Monday in May, when the final order is issued.

The resolution adopting the 2015 Grand Traverse County Equalization Report is located on the pages following.

Respectfully submitted,

James D. Baker, MMAO
Director
Grand Traverse County Equalization Department

Equalization 2015

April 14, 2015

By Grand Traverse County Board of Commissioners:

WHEREAS, The Grand Traverse County Equalization Department has established the various valuations of each of the units of government of Grand Traverse County, and

WHEREAS, each of the thirteen (13) townships, two (2) villages and one (1) City have had the opportunity to review the equalization factors with the Equalization Department, and

WHEREAS, this Board of Commissioners feels that these valuations are in order,

NOW, THEREOFRE, BE IT RESOLVED, that the Grand Traverse County Board of Commissioners has adopted the 2015 equalized valuations for each city, village, and township recommended by the Grand Traverse County Equalization Director, as contained in this report, pursuant to Sec. 211.34 MCL 1948, as amended.

ACKNOWLEDGEMENTS

In facilitating the completion of a project of this nature and magnitude, the support of a number of organizations and individuals was absolutely necessary, and I am grateful to all the participants.

The burden of maintaining a county-wide property information network while meeting impending statutory deadlines was carried out extraordinarily well by the staff of the Grand Traverse County Equalization Department. I would like to thank the Grand Traverse County Board of Commissioners for providing the Department with the resources to accomplish these duties. Also, I would like to express my gratitude to the Assessors of the cities, townships, and villages of Grand Traverse County for their prompt assistance in the assembling and reporting of data for this analysis.

FORWARD

The State Constitution commands the legislature to establish a system of property taxation and a system of equalization of assessments. The rationale underlying this approach is that the cost of municipal services, such as police and fire protection, and education should be borne through taxation imposed upon the general public. Taxation is required to be uniform and fair to all taxpayers. County equalization is required to insure that property taxes are uniform and fair within each County and within the State.

GRAND TRAVERSE COUNTY EQUALIZATION DEPARTMENT

REPORTS TO BOARD OF COMMISSIONERS

Christine Maxbauer – Chair
Dr. Dan Lathrop – Vice-Chair

Addison “Sonny” Wheelock
Carol Crawford
Alisa Kroupa
Dr. Bob Johnson
Ron Clous

ADMINISTRATOR/CONTROLLER

David D. Benda

DEPARTMENT OF EQUALIZATION

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Kathryn A. Wallace – Deputy Director, MAAO
Warren Parrish– Appraiser I, PPE
Susan Karakos – Appraiser III, MAAO
Russ Casselman – Appraiser II, MCAO
– Appraiser, MCAO
– Account Clerk Specialist, PPE

SUPERVISORS, ASSESSORS, PRESIDENTS, & MANAGERS

GRAND TRAVERSE COUNTY 2015

<u>LOCAL UNIT</u>	<u>SUPERVISOR</u>	<u>ASSESSOR</u>
Acme Township (01)	Jay B. Zollinger	Dawn Kuhns
Blair Township (02)	Patrick Pahl	Wendy Witkop
East Bay Township (03)	Glen Lile	James D. Baker
Fife Lake (04)	Linda Forwerck	Dawn Kuhns
Garfield Charter Township (05)	Chuck Korn	Amy DeHaan
Grant Township (06)	Douglas E Moyer	Michelle Englebrecht
Green Lake Township (07)	Paul Biondo	William Muha
Long Lake Township (08)	Karen J Rosa	Angela Friske
Mayfield Township (09)	John E Ockert	David Brown
Paradise Township (10)	Tim Trudell	Dawn Kuhns
Peninsula Township (11)	Peter Correia	Sally Akerley
Union Township (12)	Doug Mansfield	Debra Johnson
Whitewater Township (13)	Ron Popp	Dawn Kuhns
	<u>PRESIDENT</u>	
Fife Lake Village (41)	Lisa Leedy	Dawn Kuhns
Kingsley Village (42)	Rodney Bogart	Dawn Kuhns
	<u>MANAGER</u>	
City of Traverse City (51)		Polly Cairns

2015 GRAND TRAVERSE COUNTY - ALL AD VALOREM PROPERTY

TOWNSHIPS & CITY	Parcel Count 2014	Parcel Count 2015	% Change	CEV 2014	CEV 2015	County Equalized % Change	TAXABLE 2014	TAXABLE 2015	Taxable % Change
Acme	3,499	3,489	-0.29%	\$354,980,600	\$380,907,300	7.30%	\$297,705,018	\$310,758,561	4.38%
Blair	4,443	4,464	0.47%	\$288,190,939	\$294,749,825	2.28%	\$246,940,995	\$252,331,426	2.18%
East Bay	8,282	8,242	-0.48%	\$596,959,700	\$612,760,950	2.65%	\$507,658,665	\$520,406,616	2.51%
Fife Lake	1,304	1,298	-0.46%	\$60,191,100	\$63,452,000	5.42%	\$50,018,453	\$51,491,806	2.95%
Garfield	8,123	8,538	5.11%	\$931,528,500	\$963,686,700	3.45%	\$822,874,810	\$841,836,192	2.30%
Grant	1,103	1,103	0.00%	\$63,713,006	\$66,553,900	4.46%	\$49,107,074	\$50,757,423	3.36%
Green Lake	4,012	4,003	-0.22%	\$292,728,400	\$297,960,700	1.79%	\$260,946,160	\$262,727,061	0.68%
Long Lake	4,938	4,943	0.10%	\$498,868,800	\$529,708,700	6.18%	\$425,939,461	\$447,595,942	5.08%
Mayfield	1,113	1,093	-1.80%	\$69,470,147	\$70,713,572	1.79%	\$55,396,995	\$55,530,978	0.24%
Paradise	2,527	2,538	0.44%	\$136,248,800	\$139,968,100	2.73%	\$114,316,687	\$117,590,585	2.86%
Peninsula	4,194	4,201	0.17%	\$799,662,300	\$813,688,900	1.75%	\$613,890,269	\$632,533,235	3.04%
Union	435	436	0.23%	\$27,116,100	\$27,741,413	2.31%	\$22,683,573	\$22,887,443	0.90%
Whitewater	2,007	2,002	-0.25%	\$224,712,500	\$236,983,900	5.46%	\$182,232,168	\$188,534,174	3.46%
Traverse City	8,405	8,521	1.38%	\$980,126,400	\$1,029,307,700	5.02%	\$824,372,958	\$865,547,253	4.99%
TOTALS	54,385	54,871	0.89%	\$5,324,497,292	\$5,528,183,660	3.83%	\$4,474,083,286	\$4,620,528,695	3.273%

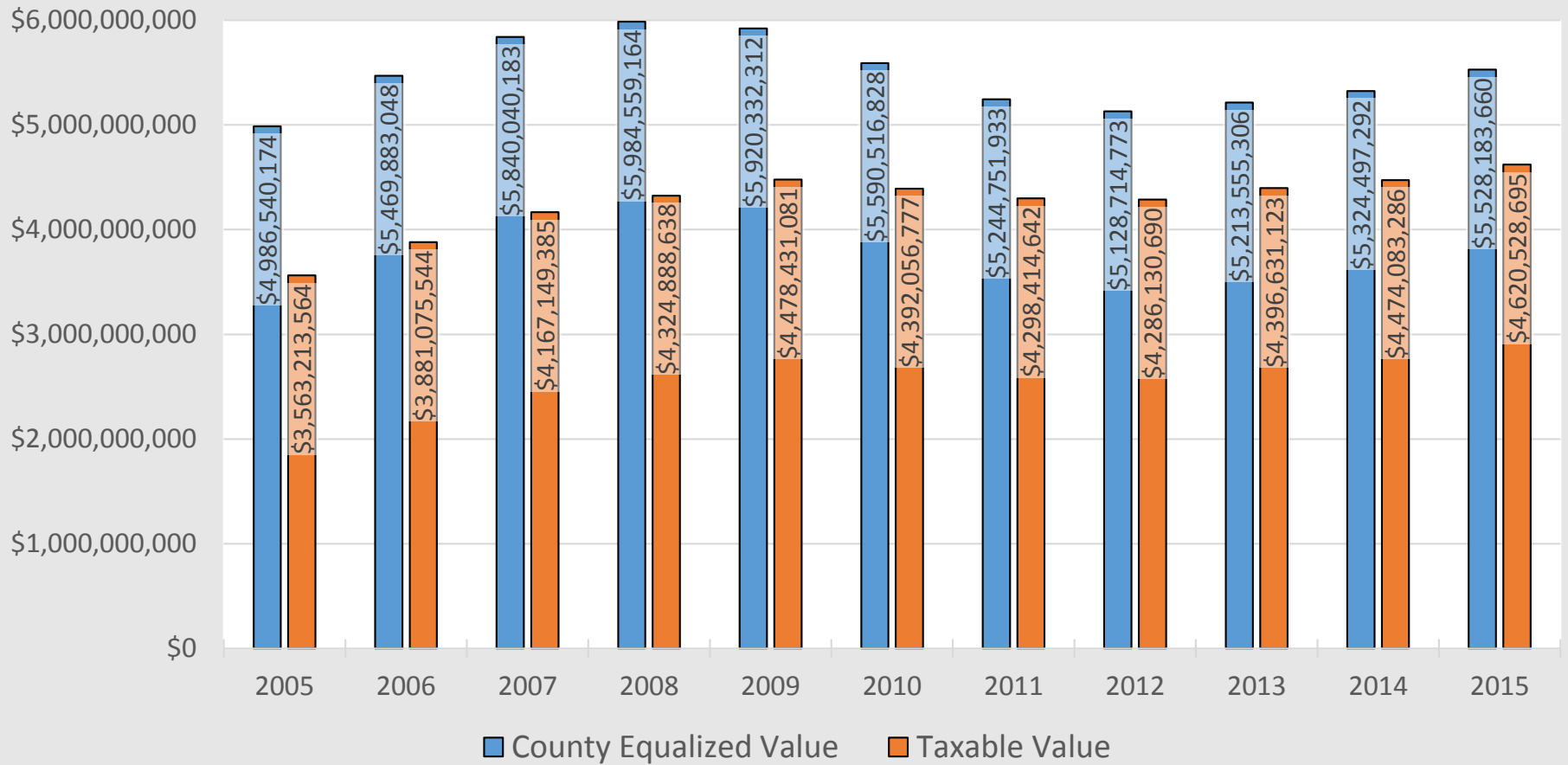
2015 GRAND TRAVERSE COUNTY - REAL PROPERTY

TOWNSHIPS & CITY	Parcel Count 2014	Parcel Count 2015	% Change	CEV 2014	CEV 2015	% Change	TAXABLE 2014	TAXABLE 2015	% Change
ACME	3,327	3,323	-0.12%	\$339,532,800	\$362,612,200	6.80%	\$282,257,218	\$292,463,461	3.62%
BLAIR	4,144	4,152	0.19%	\$271,490,609	\$277,595,525	2.25%	\$230,240,665	\$235,177,126	2.14%
EAST BAY	7,531	7,549	0.24%	\$572,498,400	\$585,814,850	2.33%	\$483,376,426	\$493,460,516	2.09%
FIFE LAKE	1,245	1,242	-0.24%	\$57,307,800	\$60,487,900	5.55%	\$47,207,218	\$48,593,903	2.94%
GARFIELD	6,670	6,598	-1.08%	\$845,837,200	\$873,266,100	3.24%	\$737,183,510	\$751,415,592	1.93%
GRANT	1,042	1,038	-0.38%	\$57,336,206	\$60,134,100	4.88%	\$42,774,255	\$44,379,569	3.75%
GREEN LAKE	3,816	3,815	-0.03%	\$276,232,200	\$285,232,500	3.26%	\$244,449,960	\$249,998,861	2.27%
LONG LAKE	4,777	4,792	0.31%	\$489,721,100	\$520,446,800	6.27%	\$416,791,761	\$438,334,042	5.17%
MAYFIELD	1,021	1,026	0.49%	\$64,366,657	\$66,479,472	3.28%	\$50,293,685	\$51,303,101	2.01%
PARADISE	2,426	2,439	0.54%	\$130,943,800	\$134,603,600	2.79%	\$109,147,761	\$112,327,070	2.91%
PENINSULA	4,086	4,086	0.00%	\$790,857,500	\$804,590,100	1.74%	\$605,085,469	\$623,434,435	3.03%
UNION	392	393	0.26%	\$25,080,700	\$26,041,213	3.83%	\$20,648,173	\$21,187,243	2.61%
WHITewater	1,905	1,904	-0.05%	\$215,905,100	\$227,719,500	5.47%	\$173,432,968	\$179,269,774	3.37%
TRAVERSE CITY	6,730	6,779	0.73%	\$919,097,100	\$961,794,500	4.65%	\$763,344,733	\$798,034,053	4.54%
TOTALS	49,112	49,136	0.05%	\$5,056,207,172	\$5,246,818,360	3.77%	\$4,206,233,802	\$4,339,378,746	3.165%

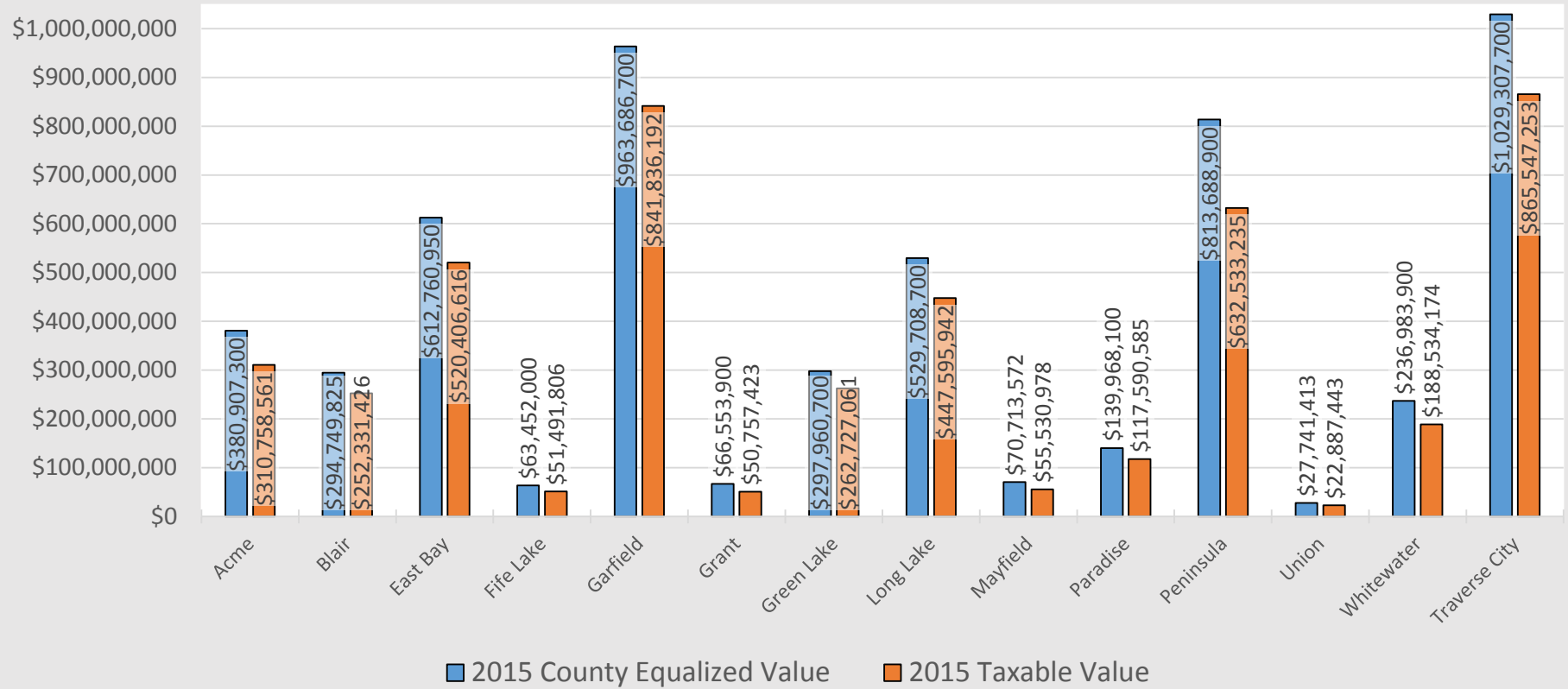
2015 GRAND TRAVERSE COUNTY - PERSONAL PROPERTY

TOWNSHIPS & CITY	Parcel Count 2014	Parcel Count 2015	% Change	CEV 2014	CEV 2015	% Change	TAXABLE 2014	TAXABLE 2015	% Change
ACME	172	166	-3.49%	\$15,447,800	\$18,295,100	18.43%	\$15,447,800	\$18,295,100	18.43%
BLAIR	299	312	4.35%	\$16,700,330	\$17,154,300	2.72%	\$16,700,330	\$17,154,300	2.72%
EAST BAY	751	693	-7.72%	\$24,461,300	\$26,946,100	10.16%	\$24,282,239	\$26,946,100	10.97%
FIFE LAKE	59	56	-5.08%	\$2,883,300	\$2,964,100	2.80%	\$2,811,235	\$2,897,903	3.08%
GARFIELD	1,453	1,940	33.52%	\$85,691,300	\$90,420,600	5.52%	\$85,691,300	\$90,420,600	5.52%
GRANT	61	65	6.56%	\$6,376,800	\$6,419,800	0.67%	\$6,332,819	\$6,377,854	0.71%
GREEN LAKE	196	188	-4.08%	\$16,496,200	\$12,728,200	-22.84%	\$16,496,200	\$12,728,200	-22.84%
LONG LAKE	161	151	-6.21%	\$9,147,700	\$9,261,900	1.25%	\$9,147,700	\$9,261,900	1.25%
MAYFIELD	92	67	-27.17%	\$5,103,490	\$4,234,100	-17.04%	\$5,103,310	\$4,227,877	-17.15%
PARADISE	101	99	-1.98%	\$5,305,000	\$5,364,500	1.12%	\$5,168,926	\$5,263,515	1.83%
PENINSULA	108	115	6.48%	\$8,804,800	\$9,098,800	3.34%	\$8,804,800	\$9,098,800	3.34%
UNION	43	43	0.00%	\$2,035,400	\$1,700,200	-16.47%	\$2,035,400	\$1,700,200	-16.47%
WHITewater	102	98	-3.92%	\$8,807,400	\$9,264,400	5.19%	\$8,799,200	\$9,264,400	5.29%
TRAVERSE CITY	1,675	1,742	4.00%	\$61,029,300	\$67,513,200	10.62%	\$61,028,225	\$67,513,200	10.63%
TOTALS	5,273	5,735	8.76%	\$268,290,120	\$281,365,300	4.87%	\$267,849,484	\$281,149,949	4.966%

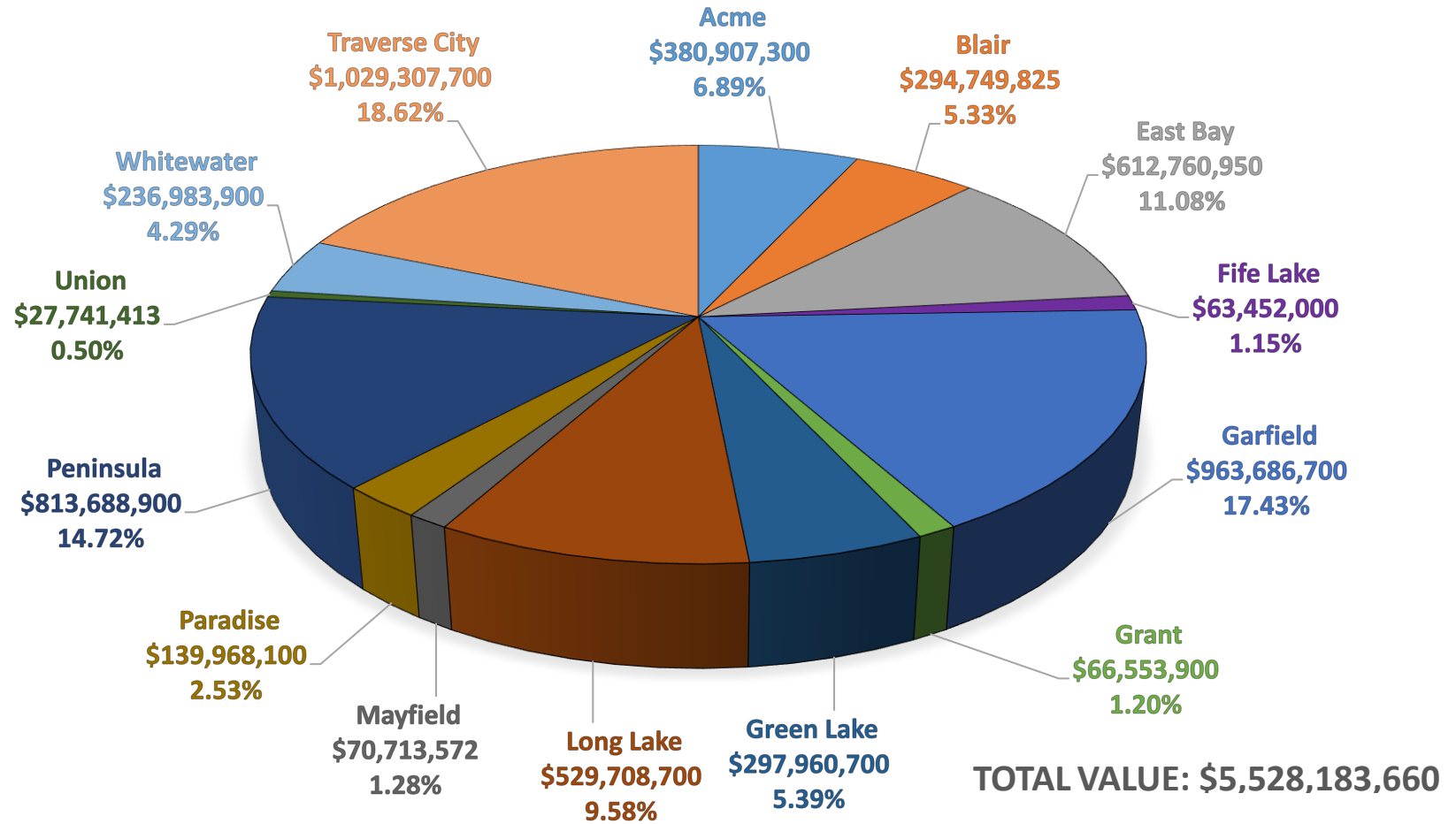
2005 THROUGH 2015
 GRAND TRAVERSE COUNTY
 COUNTY EQUALIZED & TAXABLE VALUES



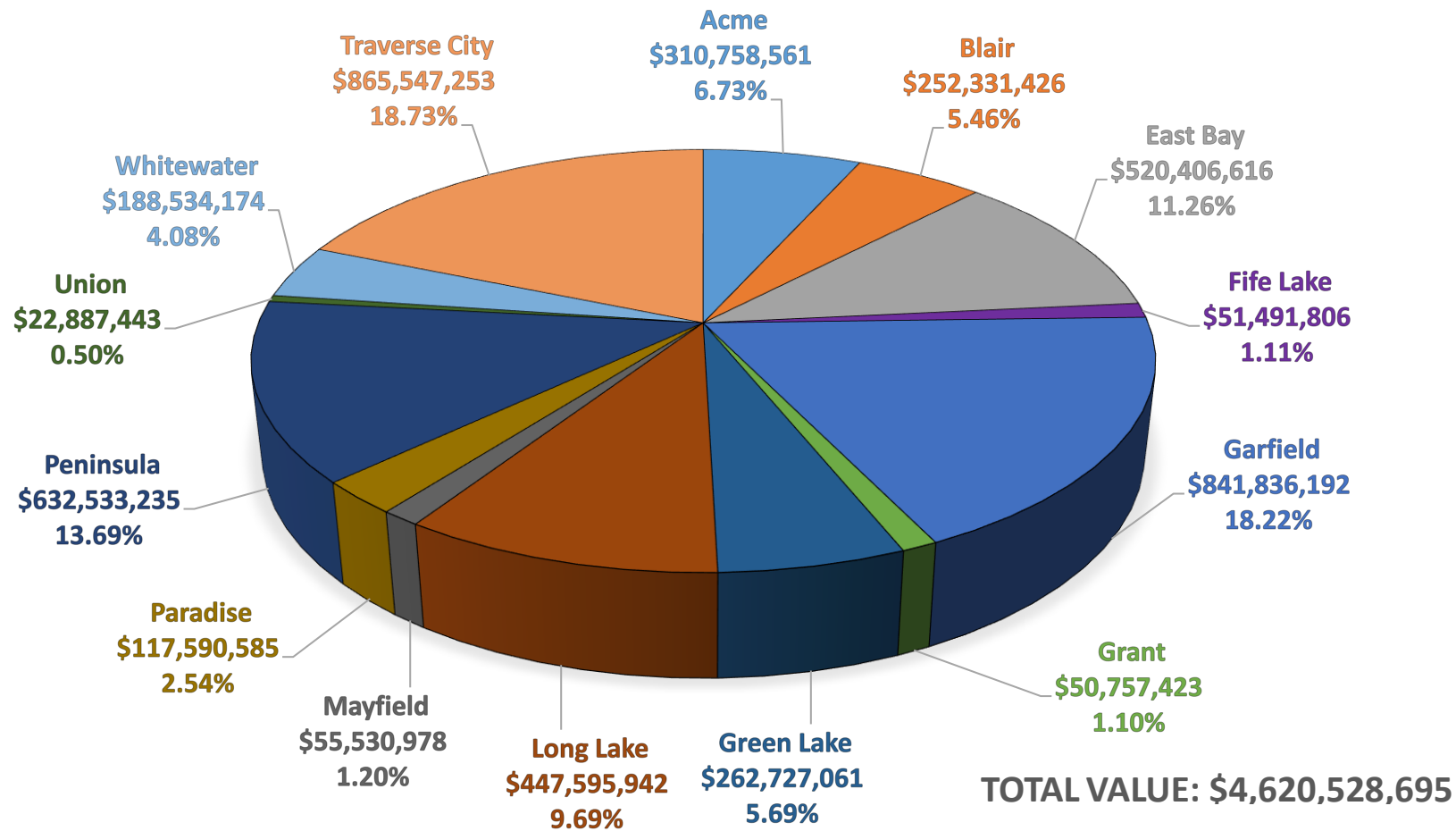
2015 COUNTY EQUALIZED & TAXABLE VALUES BY UNIT



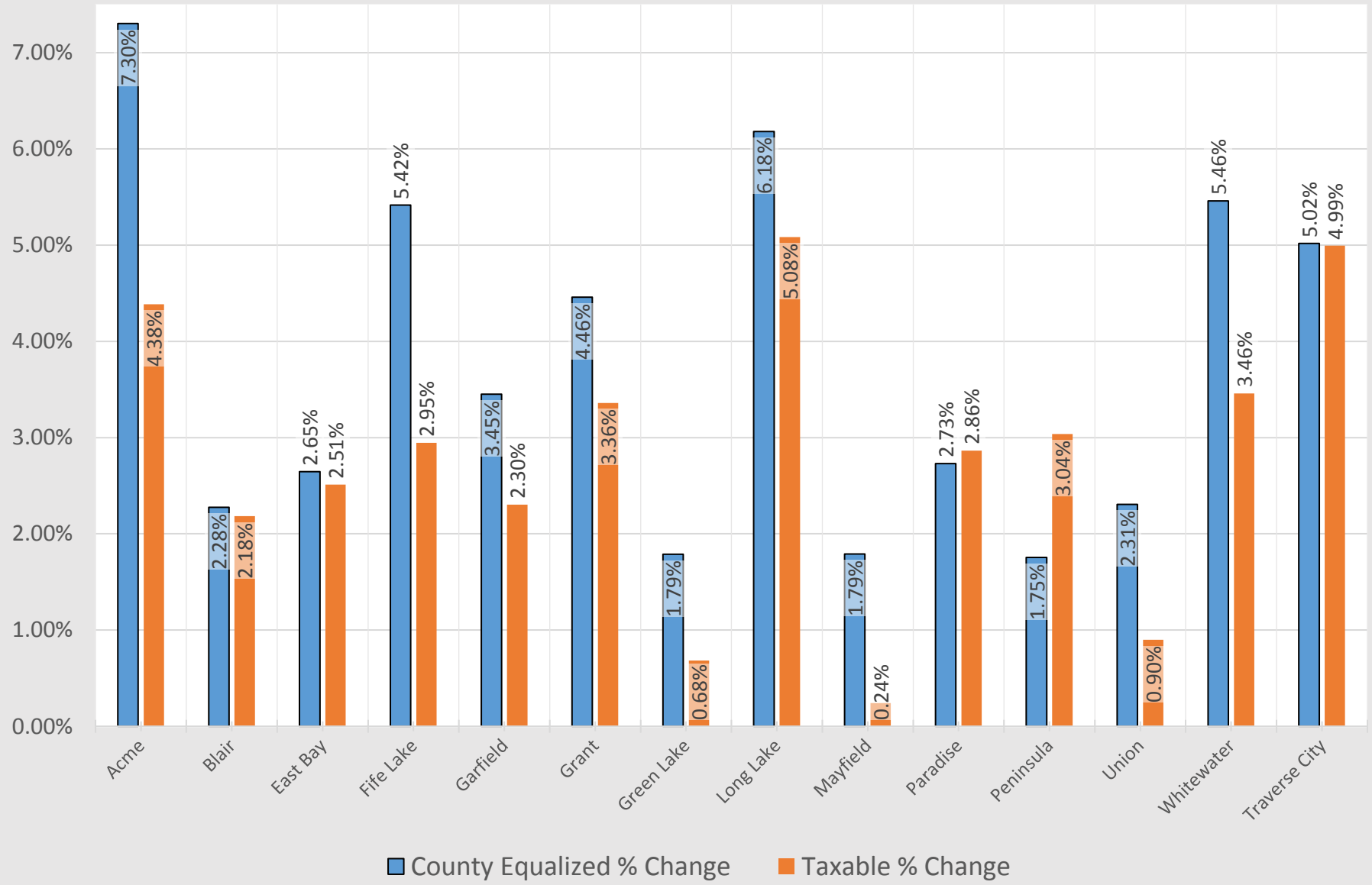
**FRACTIONAL UNIT
2015 COUNTY EQUALIZED VALUES**



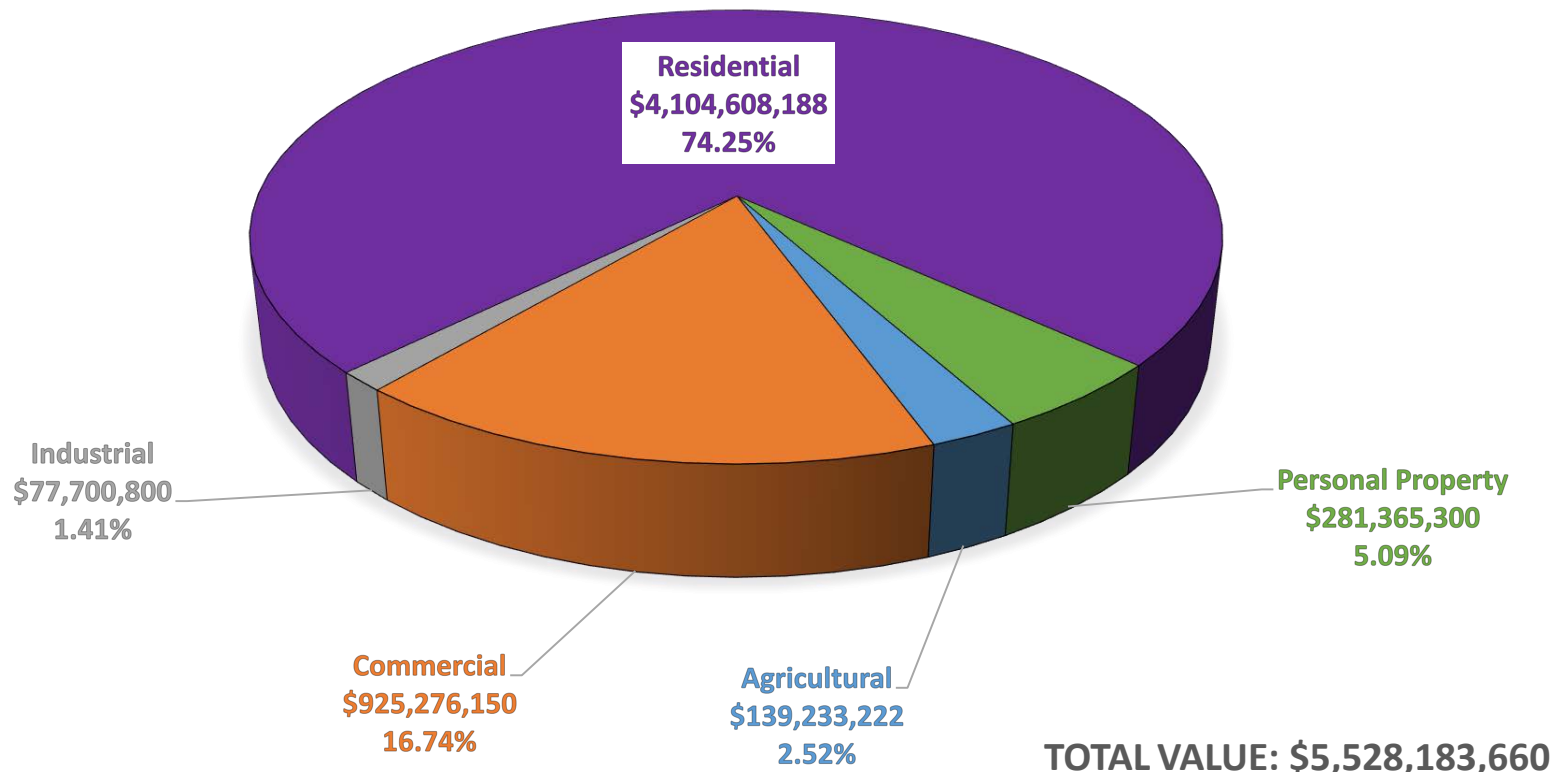
**FRACTIONAL UNIT
2015 COUNTY TAXABLE VALUES**



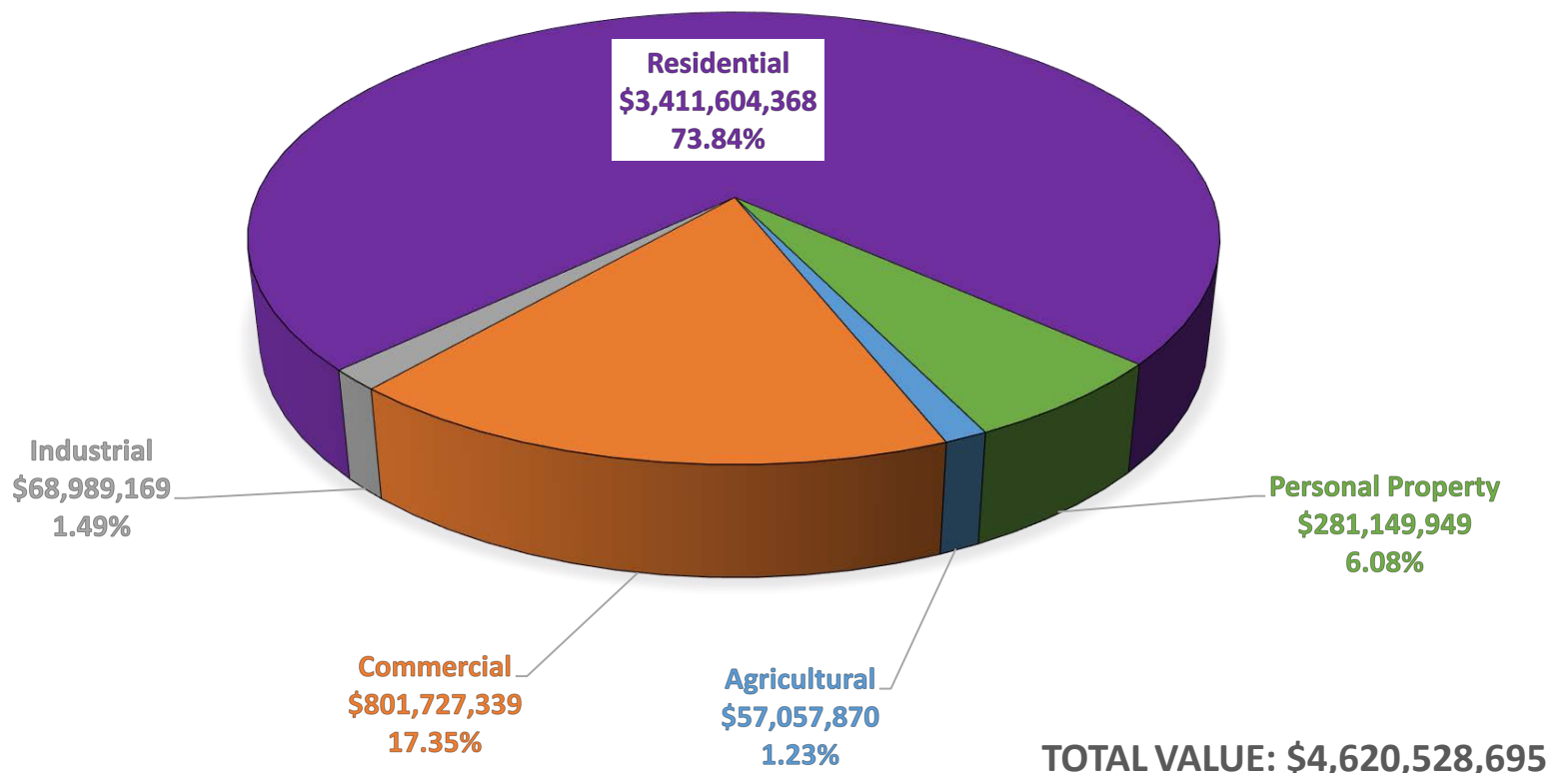
2015 COUNTY EQUALIZED & TAXABLE VALUE ONE YEAR CHANGE PERCENTAGES BY UNIT



**GRAND TRAVERSE COUNTY
2015 COUNTY EQUALIZED VALUES
BY CLASSIFICATION**



**GRAND TRAVERSE COUNTY
2015 TAXABLE VALUES
BY CLASSIFICATION**



County: 28 GRAND TRAVERSE

Governmental Unit	----- Real -----							----- Personal -----						Grand Total	
	Ag	Comm	Ind	Res	T-C	Dev	Total	Ag	Comm	Ind	Res	Util	Total		Exempt
ACME TOWNSHIP (01)	74	215	11	3023	0	0	3323	0	154	4	0	8	166	65	3554
BLAIR TWP (02)	36	320	15	3781	0	0	4152	0	275	5	0	32	312	46	4510
EAST BAY CHTR TWP (03)	28	185	50	7286	0	0	7549	0	624	30	0	39	693	147	8389
FIFE LAKE TWP (04)	27	46	2	1167	0	0	1242	0	46	3	0	7	56	70	1368
GARFIELD CHTR TWP (05)	0	1008	75	5515	0	0	6598	0	1886	49	0	5	1940	172	8710
GRANT TWP (06)	143	9	19	867	0	0	1038	0	32	1	0	32	65	25	1128
GREEN LAKE TWP (07)	0	158	12	3645	0	0	3815	0	173	6	0	9	188	88	4091
LONG LAKE TWP (08)	44	102	4	4642	0	0	4792	0	141	3	1	6	151	47	4990
MAYFIELD TWP (09)	149	21	4	852	0	0	1026	0	46	0	0	21	67	15	1108
PARADISE TWP (10)	81	87	7	2264	0	0	2439	0	78	1	0	20	99	83	2621
PENINSULA TWP (11)	220	76	4	3786	0	0	4086	0	111	0	2	2	115	138	4339
UNION TWP (12)	0	4	5	384	0	0	393	0	12	0	0	31	43	44	480
WHITEWATER TWP (13)	75	48	7	1774	0	0	1904	0	60	6	0	32	98	85	2087
TRAVERSE CITY (51)	0	1023	48	5708	0	0	6779	0	1690	47	0	5	1742	375	8896
Totals	877	3302	263	44694	0	0	49136	0	5328	155	3	249	5735	1400	56271

Assessment Unit	Assessed Real	Ratio	Equalized Real	Factor	Assessed Personal	Ratio	Equalized Personal	Assessed Total	Equalized Total	% County Total
-- 01 ACME TOWNSHIP (01) --										
Agricultural	15,082,300	49.96	15,082,300	1.000000						
Commercial	52,927,200	49.70	52,927,200	1.000000						
Industrial	3,040,500	49.83	3,040,500	1.000000						
Residential	291,562,200	49.53	291,562,200	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	362,612,200		362,612,200		18,295,100	50.00	18,295,100	380,907,300	380,907,300	6.89
-- 02 BLAIR TWP (02) --										
Agricultural	4,579,250	49.56	4,579,250	1.000000						
Commercial	54,383,600	49.93	54,383,600	1.000000						
Industrial	2,708,400	49.94	2,708,400	1.000000						
Residential	215,924,275	49.92	215,924,275	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	277,595,525		277,595,525		17,154,300	50.00	17,154,300	294,749,825	294,749,825	5.33
-- 03 EAST BAY CHTR TWP (03) --										
Agricultural	4,405,900	49.57	4,405,900	1.000000						
Commercial	67,712,150	49.21	67,712,150	1.000000						
Industrial	12,331,300	49.62	12,331,300	1.000000						
Residential	501,365,500	49.37	501,365,500	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	585,814,850		585,814,850		26,946,100	50.00	26,946,100	612,760,950	612,760,950	11.08
-- 04 FIFE LAKE TWP (04) --										
Agricultural	3,000,300	49.62	3,000,300	1.000000						
Commercial	4,200,900	49.25	4,200,900	1.000000						
Industrial	599,000	49.81	599,000	1.000000						
Residential	52,687,700	49.13	52,687,700	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	60,487,900		60,487,900		2,964,100	50.00	2,964,100	63,452,000	63,452,000	1.15

Assessment Unit	Assessed Real	Ratio	Equalized Real	Factor	Assessed Personal	Ratio	Equalized Personal	Assessed Total	Equalized Total	% County Total
-- 05 GARFIELD CHTR TWP (05) --										
Agricultural	0	50.00	0	1.000000						
Commercial	359,305,500	49.75	359,305,500	1.000000						
Industrial	22,851,300	49.63	22,851,300	1.000000						
Residential	491,109,300	49.44	491,109,300	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	873,266,100		873,266,100		90,420,600	50.00	90,420,600	963,686,700	963,686,700	17.43
-- 06 GRANT TWP (06) --										
Agricultural	13,934,700	49.08	13,934,700	1.000000						
Commercial	480,000	49.76	480,000	1.000000						
Industrial	566,800	49.78	566,800	1.000000						
Residential	45,152,600	49.85	45,152,600	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	60,134,100		60,134,100		6,419,800	50.00	6,419,800	66,553,900	66,553,900	1.20
-- 07 GREEN LAKE TWP (07) --										
Agricultural	0	50.00	0	1.000000						
Commercial	14,970,300	50.00	14,970,300	1.000000						
Industrial	3,513,400	50.00	3,513,400	1.000000						
Residential	266,748,800	49.28	266,748,800	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	285,232,500		285,232,500		12,728,200	50.00	12,728,200	297,960,700	297,960,700	5.39
-- 08 LONG LAKE TWP (08) --										
Agricultural	7,820,100	49.57	7,820,100	1.000000						
Commercial	9,376,000	49.96	9,376,000	1.000000						
Industrial	1,033,500	49.88	1,033,500	1.000000						
Residential	502,217,200	49.49	502,217,200	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	520,446,800		520,446,800		9,261,900	50.00	9,261,900	529,708,700	529,708,700	9.58

Assessment Unit	Assessed Real	Ratio	Equalized Real	Factor	Assessed Personal	Ratio	Equalized Personal	Assessed Total	Equalized Total	% County Total
-- 09 MAYFIELD TWP (09) --										
Agricultural	16,207,372	49.80	16,207,372	1.000000						
Commercial	2,674,800	49.85	2,674,800	1.000000						
Industrial	99,500	49.33	99,500	1.000000						
Residential	47,497,800	49.70	47,497,800	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	66,479,472		66,479,472		4,234,100	50.00	4,234,100	70,713,572	70,713,572	1.28
-- 10 PARADISE TWP (10) --										
Agricultural	8,010,800	49.37	8,010,800	1.000000						
Commercial	8,081,100	49.59	8,081,100	1.000000						
Industrial	126,500	49.72	126,500	1.000000						
Residential	118,385,200	49.97	118,385,200	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	134,603,600		134,603,600		5,364,500	50.00	5,364,500	139,968,100	139,968,100	2.53
-- 11 PENINSULA TWP (11) --										
Agricultural	52,160,500	49.98	52,160,500	1.000000						
Commercial	14,744,500	49.98	14,744,500	1.000000						
Industrial	689,200	49.98	689,200	1.000000						
Residential	736,995,900	49.82	736,995,900	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	804,590,100		804,590,100		9,098,800	50.00	9,098,800	813,688,900	813,688,900	14.72
-- 12 UNION TWP (12) --										
Agricultural	0	50.00	0	1.000000						
Commercial	662,200	49.33	662,200	1.000000						
Industrial	50,900	49.39	50,900	1.000000						
Residential	25,328,113	49.56	25,328,113	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	26,041,213		26,041,213		1,700,200	50.00	1,700,200	27,741,413	27,741,413	0.50

Assessment Unit	Assessed Real	Ratio	Equalized Real	Factor	Assessed Personal	Ratio	Equalized Personal	Assessed Total	Equalized Total	% County Total
-- 13 WHITEWATER TWP (13) --										
Agricultural	14,032,000	49.78	14,032,000	1.000000						
Commercial	6,300,400	49.48	6,300,400	1.000000						
Industrial	2,174,300	49.68	2,174,300	1.000000						
Residential	205,212,800	49.99	205,212,800	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	227,719,500		227,719,500		9,264,400	50.00	9,264,400	236,983,900	236,983,900	4.29

-- 51 TRAVERSE CITY (51) --										
Agricultural	0	50.00	0	1.000000						
Commercial	329,457,500	49.98	329,457,500	1.000000						
Industrial	27,916,200	49.80	27,916,200	1.000000						
Residential	604,420,800	49.92	604,420,800	1.000000						
Timber-Cutover	0	50.00	0	1.000000						
Developmental	0	50.00	0	1.000000						
Totals	961,794,500		961,794,500		67,513,200	50.00	67,513,200	1,029,307,700	1,029,307,700	18.62

Grand Totals	Assessed Real	Equalized Real	% Real Total	Assessed Personal	Equalized Personal	Assessed % County	Equalized % County	Assessed Total	Equalized Total
Agricultural	139,233,222	139,233,222	2.65			2.52	2.52		
Commercial	925,276,150	925,276,150	17.63			16.74	16.74		
Industrial	77,700,800	77,700,800	1.48			1.41	1.41		
Residential	4,104,608,188	4,104,608,188	78.23			74.25	74.25		
Timber-Cutover	0	0	0.00			0.00	0.00		
Developmental	0	0	0.00			0.00	0.00		
Personal				281,365,300	281,365,300	5.09	5.09		
	5,246,818,360	5,246,818,360	100.00	281,365,300	281,365,300	100.00	100.00	5,528,183,660	5,528,183,660

Personal and Real Property - TOTALS

L-4024

Grand Traverse County

Statement of acreage and valuation in the year 2015 made in accordance with Sections 209.1 - 209.8 of the Michigan Compiled Laws.

Township or City	Number of Acres Assessed	Total Real Property Valuations		Personal Property Valuations		Total Real Plus Personal Property	
	(Col. 1) Acres Hundredths	(Col. 2) Assessed Valuations	(Col. 3) Equalized Valuations	(Col. 4) Assessed Valuations	(Col. 5) Equalized Valuations	(Col. 6) Assessed Valuations	(Col. 7) Equalized Valuations
Acme	13,261.37	362,612,200	362,612,200	18,295,100	18,295,100	380,907,300	380,907,300
Blair	22,746.58	277,595,525	277,595,525	17,154,300	17,154,300	294,749,825	294,749,825
East Bay	28,192.41	585,814,850	585,814,850	26,946,100	26,946,100	612,760,950	612,760,950
Fife Lake	22,539.35	60,487,900	60,487,900	2,964,100	2,964,100	63,452,000	63,452,000
Garfield	13,769.73	873,266,100	873,266,100	90,420,600	90,420,600	963,686,700	963,686,700
Grant	22,795.37	60,134,100	60,134,100	6,419,800	6,419,800	66,553,900	66,553,900
Green Lake	18,943.23	285,232,500	285,232,500	12,728,200	12,728,200	297,960,700	297,960,700
Long Lake	19,419.70	520,446,800	520,446,800	9,261,900	9,261,900	529,708,700	529,708,700
Mayfield	23,110.94	66,479,472	66,479,472	4,234,100	4,234,100	70,713,572	70,713,572
Paradise	30,956.18	134,603,600	134,603,600	5,364,500	5,364,500	139,968,100	139,968,100
Peninsula	17,157.17	804,590,100	804,590,100	9,098,800	9,098,800	813,688,900	813,688,900
Union	23,034.16	26,041,213	26,041,213	1,700,200	1,700,200	27,741,413	27,741,413
Whitewater	30,307.36	227,719,500	227,719,500	9,264,400	9,264,400	236,983,900	236,983,900
Traverse City	8,789.80	961,794,500	961,794,500	67,513,200	67,513,200	1,029,307,700	1,029,307,700
Totals for County	295,023.35	5,246,818,360	5,246,818,360	281,365,300	281,365,300	5,528,183,660	5,528,183,660

OFFICE OF THE COUNTY BOARD OF COMMISSIONERS OF GRAND TRAVERSE COUNTY

WE HEREBY CERTIFY that the foregoing is a true statement of the number of acres of land, the value of the real property and of the personal property, the aggregate valuation of the real property and personal property, the equalized and assessed valuations of real property classifications in each township and city in said county as equalized by the Board of Commissioners in April of the reporting year, at a meeting of said board held in pursuant to the provisions of sections 209.1 - 209.8, MCL. I further certify that said statement does not embrace any property taxed under P.A. 77 of 1951; P.A. 68 of 1963; P.A. 198 of 1974; P.A. 225 of 1978; P.A. 385 of 1984; P.A. 224 of 1985; P.A. 147 of 1992 or Section 5 of Article IX of the Constitution of the State.

Dated April 14th, 2015

James S. Baker
Equalization Director

Bonnie Scheele
Clerk of the Board of Commissioners

[Signature]
Chairperson of Board of Commissioners

Equalized Valuations - REAL

L-4024

Grand Traverse County

Statement of acreage and valuation in the year 2015 made in accordance with Sections 209.1 - 209.8 of the Michigan Compiled Laws.

Real Property Equalized by County Board of Commissioners							
Township or City	(Col. 1) Agricultural	(Col. 2) Commercial	(Col. 3) Industrial	(Col. 4) Residential	(Col. 5) Timber-Cutover	(Col. 6) Developmental	(Col. 7) Total Real Property
Acme	15,082,300	52,927,200	3,040,500	291,562,200	0	0	362,612,200
Blair	4,579,250	54,383,600	2,708,400	215,924,275	0	0	277,595,525
East Bay	4,405,900	67,712,150	12,331,300	501,365,500	0	0	585,814,850
Fife Lake	3,000,300	4,200,900	599,000	52,687,700	0	0	60,487,900
Garfield	0	359,305,500	22,851,300	491,109,300	0	0	873,266,100
Grant	13,934,700	480,000	566,800	45,152,600	0	0	60,134,100
Green Lake	0	14,970,300	3,513,400	266,748,800	0	0	285,232,500
Long Lake	7,820,100	9,376,000	1,033,500	502,217,200	0	0	520,446,800
Mayfield	16,207,372	2,674,800	99,500	47,497,800	0	0	66,479,472
Paradise	8,010,800	8,081,100	126,500	118,385,200	0	0	134,603,600
Peninsula	52,160,500	14,744,500	689,200	736,995,900	0	0	804,590,100
Union	0	662,200	50,900	25,328,113	0	0	26,041,213
Whitewater	14,032,000	6,300,400	2,174,300	205,212,800	0	0	227,719,500
Traverse City	0	329,457,500	27,916,200	604,420,800	0	0	961,794,500
Total for County	139,233,222	925,276,150	77,700,800	4,104,608,188	0	0	5,246,818,360

OFFICE OF THE COUNTY BOARD OF COMMISSIONERS OF GRAND TRAVERSE COUNTY

WE HEREBY CERTIFY that the foregoing is a true statement of the number of acres of land, the value of the real property and of the personal property, the aggregate valuation of the real property and personal property, the equalized and assessed valuations of real property classifications in each township and city in said county as equalized by the Board of Commissioners in April of the reporting year, at a meeting of said board held in pursuant to the provisions of sections 209.1 – 209.8, MCL. I further certify that said statement does not embrace any property taxed under P.A. 77 of 1951; P.A. 68 of 1963; P.A. 198 of 1974; P.A. 225 of 1978; P.A. 385 of 1984; P.A. 224 of 1985; P.A. 147 of 1992 or Section 5 of Article IX of the Constitution of the State.

Dated April 14TH, 2015

James S. Baker
Equalization Director

Bonnie Scheele
Clerk of the Board of Commissioners

[Signature]
Chairperson of Board of Commissioners

Assessed Valuations - REAL

L-4024

Grand Traverse County

Statement of acreage and valuation in the year 2015 made in accordance with Sections 209.1 - 209.8 of the Michigan Compiled Laws.

Real Property Assessed Valuations Approved by Boards of Review							
Township or City	(Col. 1) Agricultural	(Col. 2) Commercial	(Col. 3) Industrial	(Col. 4) Residential	(Col. 5) Timber-Cutover	(Col. 6) Developmental	(Col. 7) Total Real Property
Acme	15,082,300	52,927,200	3,040,500	291,562,200	0	0	362,612,200
Blair	4,579,250	54,383,600	2,708,400	215,924,275	0	0	277,595,525
East Bay	4,405,900	67,712,150	12,331,300	501,365,500	0	0	585,814,850
Fife Lake	3,000,300	4,200,900	599,000	52,687,700	0	0	60,487,900
Garfield	0	359,305,500	22,851,300	491,109,300	0	0	873,266,100
Grant	13,934,700	480,000	566,800	45,152,600	0	0	60,134,100
Green Lake	0	14,970,300	3,513,400	266,748,800	0	0	285,232,500
Long Lake	7,820,100	9,376,000	1,033,500	502,217,200	0	0	520,446,800
Mayfield	16,207,372	2,674,800	99,500	47,497,800	0	0	66,479,472
Paradise	8,010,800	8,081,100	126,500	118,385,200	0	0	134,603,600
Peninsula	52,160,500	14,744,500	689,200	736,995,900	0	0	804,590,100
Union	0	662,200	50,900	25,328,113	0	0	26,041,213
Whitewater	14,032,000	6,300,400	2,174,300	205,212,800	0	0	227,719,500
Traverse City	0	329,457,500	27,916,200	604,420,800	0	0	961,794,500
Total for County	139,233,222	925,276,150	77,700,800	4,104,608,188	0	0	5,246,818,360

OFFICE OF THE COUNTY BOARD OF COMMISSIONERS OF GRAND TRAVERSE COUNTY

WE HEREBY CERTIFY that the foregoing is a true statement of the number of acres of land, the value of the real property and of the personal property, the aggregate valuation of the real property and personal property, the equalized and assessed valuations of real property classifications in each township and city in said county as equalized by the Board of Commissioners in April of the reporting year, at a meeting of said board held in pursuant to the provisions of sections 209.1 – 209.8, MCL. I further certify that said statement does not embrace any property taxed under P.A. 77 of 1951; P.A. 68 of 1963; P.A. 198 of 1974; P.A. 225 of 1978; P.A. 385 of 1984; P.A. 224 of 1985; P.A. 147 of 1992 or Section 5 of Article IX of the Constitution of the State.

Dated April 14TH, 2015

James S. Baker
Equalization Director

Bonnie Scheele
Clerk of the Board of Commissioners

Max Allen
Chairperson of Board of Commissioners



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
LANSING



DAN WYANT
DIRECTOR

April 17, 2015

VIA OVERNIGHT MAIL

Mr. Dennis Donohue
Warner Norcross & Judd LP
900 Fifth Third Center
111 Lyon Street NW
Grand Rapids, Michigan 49503-2487

Dear Mr. Donohue:

SUBJECT: The Village At Grand Traverse, L.L.C., Administrative Consent Order (ACO)

Enclosed please find an original signed copy of ACO-000265 entered between the Michigan Department of Environmental Quality (DEQ) and The Village At Grand Traverse, L.L.C., for the resolution of the violations documented pursuant to Part 31, Water Resources Protection; and Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, and the promulgated rules. The ACO became effective on April 16, 2015.

The DEQ appreciates your cooperation and resolution of this matter. If you have any questions, regarding this matter, please contact me at 517-284-5492; boasek@michigan.gov; or at DEQ, P.O. Box 30458, Lansing, Michigan 48909-7958.

Sincerely,

Karen Rae Boase, Enforcement Specialist
Water Enforcement Unit
Water Resources Division

Enclosure

cc: Mr. Barry H. Selden, DEQ
cc/enc: Mr. Brian Jankowski, DEQ
Mr. Justin Bragg, DEQ

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
WATER RESOURCES DIVISION

In the matter of:

ACO-000265

Date Entered: 4/16/15

The Village At Grand Traverse, L.L.C
3805 Edwards Road, Suite 700
Cincinnati, Ohio 45209

ADMINISTRATIVE CONSENT ORDER

This document results from allegations by the Michigan Department of Environmental Quality (MDEQ), Water Resources Division (WRD). The MDEQ alleges The Village At Grand Traverse, L.L.C. (VGT) located at 1651 East Hayes Road, Ithaca, Michigan 48847, is in violation of Part 31, Water Resources Protection, MCL 324.3101 *et seq.* (Part 31); and Part 91, Soil Erosion and Sedimentation Control (SESC), MCL 324.9101 *et seq.* (Part 91), of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), and associated administrative rules. These violations occurred as a result of earth change activities associated with development of the 182-acre commercial development owned by the VGT and Meijer, Inc., located at the southwest corner of M-72 and Lautner Road, Acme Township, Grand Traverse County (Property).

On January 23, 2015, the VGT obtained a construction easement from Meijer, Inc., on property owned by Meijer, Inc. The construction easement establishes an ownership interest allowing the VGT to obtain the necessary permits in its name for the completion of the construction activities on Meijer, Inc.'s property under Part 31 and Part 91 of the NREPA.

The VGT has agreed to the entry of this Administrative Consent Order (Consent Order), which contains specific requirements for the Property to ensure compliance with Part 31 and Part 91 of the NREPA.

The VGT is a person, as defined by Section 301 of the NREPA, MCL 324.301, and is registered with the Michigan Department of Licensing and Regulatory Affairs as able to conduct business in the State of Michigan under Identification No. B3521F. The VGT and the MDEQ agree to resolve the alleged violations set forth herein through entry of this Consent Order. The VGT

and the MDEQ agree that the effluent limits set forth in this Consent Order are considered interim limits for this Property only and shall not apply to any discharges associated with any future development of the Property or any other site in the State of Michigan.

I. STIPULATIONS

The VGT and the MDEQ stipulate as follows:

- 1.1 The NREPA is an act that controls pollution to protect the environment and natural resources in the state.
- 1.2 Part 31 of the NREPA and the rules promulgated pursuant thereto provide for the protection, conservation, and control of pollution of the water resources of the state.
- 1.3 Part 91 of the NREPA and the rules promulgated pursuant thereto provide for the control of soil erosion and sedimentation arising from earth change activities.
- 1.4 The MDEQ is authorized by Section 3112(4) of Part 31 MCL 324.3112(4), and Section 9112(7) of Part 91 MCL 324.9112(7), to enter orders requiring persons to abate pollution, or otherwise cease or correct activities in violation of Part 31 and Part 91 of the NREPA. The director of the MDEQ may delegate this authority to a designee under Section 301(b) of the NREPA, MCL 324.301(b).
- 1.5 The VGT consents to the issuance and entry of this Consent Order and stipulates that the entry of this Consent Order constitutes a final order of the MDEQ and is enforceable as such under Section 3112(4) of Part 31 and Section 9112(7) of Part 91 of the NREPA. The VGT agrees not to contest the issuance of this Consent Order, and that the resolution of this matter by the entry of this Consent Order is appropriate and acceptable. It is also agreed that this Consent Order shall become effective on the date it is signed by the chief of the MDEQ, WRD, as delegate of the director of the MDEQ, pursuant to Section 301(b) of the NREPA.

- 1.6 The VGT and the MDEQ agree that the signing of this Consent Order is for settlement purposes only and does not constitute an admission by the VGT that the law has been violated.
- 1.7 The signatory to this Consent Order certifies that it is fully authorized by the VGT to enter into the terms and conditions of this Consent Order and to execute and legally bind the VGT to this document. The signatory also certifies that the VGT agrees to voluntarily enter into this Consent Order. The VGT hereby agrees to comply with all requirements under this Consent Order to resolve the violations stated in Section II of this Consent Order and agrees to achieve compliance with Part 31 and Part 91 of the NREPA and associated rules by fulfilling the terms of Section III of this Consent Order.

II. FINDINGS

- 2.1 On October 16, 2003, the VGT became fee owner of five parcels that comprise the Property. The parcel identification numbers for the five properties were 28-01-102-005-00, 28-01-102-001-00, 28-01-102-001-00, 28-01-102-009-00, and 28-01-102-017-00.
- 2.2 On October 16, 2003, the five parcels comprising the Property were consolidated into two parcels with two new parcel identification numbers 28-01-102-001-01 (21.56 acres) and 28-01-102-001-02 (160.55 acres).
- 2.3 On July 3, 2012, the Grand Traverse County Enforcing Agency (Grand Traverse CEA) issued to the VGT Permit No. 23049 under Part 91 of the NREPA to conduct an earth change activity on 78 acres of the Property (Construction Site). The expiration date for Permit No. 23049 was June 14, 2014.
- 2.4 On October 4, 2013, Meijer, Inc. purchased parcel identification number 28-01-102-001-01 from the VGT. The VGT remained the owner of parcel 28-01-102-001-02.

- 2.5 On January 31, 2014, the VGT obtained authorization under Part 31 of the NREPA and the Part 21 Rules, Wastewater Discharge Permits, promulgated pursuant to Part 31; 2006 AACS R 323.2101 *et seq.*, as amended, specifically, R 323.2190 (Permit-by-Rule) to discharge storm water from the Property. The expiration date for the authorization under Permit-by-Rule was June 14, 2014.
- 2.6 On June 12, 2014, the Grand Traverse CEA issued the VGT Permit No. 23059 under Part 91 of the NREPA to conduct an earth change activity on 78 acres that span both the Meijer, Inc. and VGT properties and to replace Permit No 23059. The expiration date for the Part 91 Permit No. 23059 is June 14, 2015.
- 2.7 On June 26, 2014, the VGT obtained reauthorization under Part 31 of the NREPA and Permit-by-Rule to discharge storm water from the Property.
- 2.8 In July or August 2014, the VGT started conducting the earth change activities on the Property.
- 2.9 The MDEQ conducted inspections on the following dates and identified violations of Part 31 and Part 91 of the NREPA:
- September 23, 2014
 - October 2, 2014
 - October 3, 2014
 - October 15, 2014
 - November 24, 2014
- 2.10 The MDEQ notified the VGT of the alleged violations of Part 31 and Part 91 of the NREPA in letters dated October 10, 2014; October 21, 2014; and January 28, 2015 (see Attachment A).

- 2.11 The VGT responded to the MDEQ's letters in correspondence date October 31, 2014, and February 13, 2015. The VGT also provided a Corrective Action Plan to the MDEQ with its October 31, 2014, response.

III. COMPLIANCE PROGRAM

IT IS THEREFORE AGREED AND ORDERED THAT the VGT shall take the following actions to comply with and prevent further violations of Part 31 and Part 91 of the NREPA and the associated administrative rules:

- 3.1 The VGT shall comply with all requirements under Part 31 and Part 91 of the NREPA and the associated administrative rules, including obtaining and maintaining all required permits and seeking permit modification as required under law. This Consent Order does not obviate the need to acquire additional state, local, or federal permits as may be required by law.
- 3.2 Not later than 14 days after the effective date of this Consent Order, the VGT shall submit to the Grand Traverse CEA an application for a revised Part 91 permit that includes a revised SESC plan. The application shall seek authorization for only those activities associated with finishing the grading of the Construction Site and installing both temporary and permanent SESC measures. The application shall not include earth change activities associated with the future development of the Property. Once the Grand Traverse CEA modifies or reissues the permit, including the revised SESC plan, to the VGT (2015 SESC Permit), it shall be incorporated by reference and become enforceable under this Consent Order. Within three business days after the VGT receives the modified or reissued permit from Grand Traverse CEA, the VGT shall submit a Notice of Renewal for the Notice of Coverage under Permit-by-Rule to the MDEQ, WRD, Permits Section, as required under Part 31 of the NREPA.
- 3.3 If the SESC measures or SESC plan is determined to be ineffective by the MDEQ or the Grand Traverse CEA, the VGT shall take any and all additional actions necessary to

address the deficiencies as required under Part 31 and Part 91 of the NREPA. Within five days of the determination by the MDEQ or the Grand Traverse CEA that the SESC measures or SESC plan is determined to be ineffective, the VGT shall request a modification of the 2015 SESC Permit and the SESC plan by submitting a narrative describing the basis of the change, description of the proposed modification, and revised plan to the MDEQ, WRD, Cadillac District Office, and the Grand Traverse CEA for review and approval. Within three business days after the Grand Traverse CEA modifies or reissues the permit, the VGT shall submit a Notice of Renewal for the Notice of Coverage under Permit-by-Rule to the MDEQ, WRD, Permits Section, as required under Part 31 of the NREPA.

- 3.4 If any area(s) on the Construction Site are inactive for more than 14 days from May 1, 2015, through October 1, 2015, the VGT shall temporarily seed and mulch or place other temporary or permanent cover over the area(s) until earth change resumes in the area(s). All area(s) that are not permanently stabilized by October 1, 2015, shall be seeded and mulched.

- 3.5 If either of the two basins on the Property is discharging storm water, the VGT shall sample the storm water discharge(s) daily. The sampling sites shall be located where the slow release channel from each basin discharges into the adjacent wetlands (Sample Locations 1 and 2) as detailed on the map in Attachment B. The daily maximum limit for Sample Location 1 is 100 nephelometric turbidity units (NTU). At Sample Location 2 the daily maximum limit is 200 NTU. The daily maximum is the sum of the concentrations of individual samples divided by the number of samples taken during any calendar day. The individual samples used to calculate the daily maximum shall be representative of the discharges occurring on each calendar day from the basin(s). The daily maximum limits are only valid from the effective date of this Consent Order to September 1, 2015. After September 1, 2015, this Consent Order does not allow any discharge of sediments or sediment-laden water.

- 3.6 When there is discharge from the basin(s) or during a rain event that results in storm water discharging from the Property, the VGT shall conduct daily in-stream sampling within Acme Creek at least 100 feet from Sample Location 2, but no farther than the western boundary of the Property as detailed on the map in Attachment B (Sample Location 3). At Sample Location 3, the daily maximum limit is 50 NTU. The individual samples used to calculate the daily maximum shall be representative of the turbidity level in Acme Creek at Sample Location 3. The daily maximum limit is only valid from the effective date of this Consent Order to September 1, 2015.
- 3.7 During 2-year, 5-year, 10-year, and 25-year/24-hour rain events resulting in a discharge of storm water from the basin(s), the VGT shall collect representative samples at Sample Locations 1, 2, and 3, starting from the first 30 minutes of the discharge from the rain event until the peak discharge is expected to occur from the basin(s). Within 14 days of the execution of this Consent Order, the VGT shall provide a sampling plan to the MDEQ for review and approval detailing the number of samples it will collect to calculate the representative sample at each sample location for each rain event. The representative samples for each rain event will count each individual sample as part of the calculations for the daily maximum limit of 100 NTU for Sample Location 1, 200 NTU for Sample Location 2, and 50 NTU for Sample Location 3.
- 3.8 The VGT shall document all of the individual sampling results taken for each sample location and the daily maximum calculated for each of the sample locations. The VGT shall submit to the MDEQ the electronic copies of all sampling results for Sample Locations 1, 2, and 3, by the next business day in accordance with paragraph 3.20 of this Consent Order. If the basin(s) are not discharging storm water, this must be clearly documented in the daily storm water inspection logs.
- 3.9 If the discharge limit of 100 NTU is exceeded at Sample Location 1, or 200 NTU at Sample Location 2, the VGT shall take one or more of the following actions to come into compliance with the NTU discharge limit for sample location(s):

- a. Immediately cease the discharge of storm water from the basin(s) by plugging the outfall of the basin(s) and detaining the storm water until the sediment in the basin(s) settles and the discharge limit of 100 NTU for Sample Location 1, and 200 NTU for Sample Location 2, are met before the basin(s) is allowed to discharge.
 - b. Immediately cease the discharge of storm water from the basin(s) by plugging the outfall; and
 - i. Pump and haul the storm water that enters into the storm water basin(s) on the Property to the location authorized under Groundwater Discharge Permit No. GW11110726; or
 - ii. Pump storm water detained in the basin(s), with or without treatment through the polyacrylamide (PAM) system identified in the 2015 SESC Permit, provided that the discharge limit of 100 NTU for Sample Location 1, and 200 NTU for Sample Location 2, are met at the discharge location(s) and that the discharge occurs through a filter bag in a permanently stabilized area on the Property so as to ensure that the discharge does not cause soil erosion or sedimentation from occurring at the discharge location.
- 3.10 If the daily maximum is calculated to be 200 NTU or greater for Sample Location 1, or 300 NTU for Sample Location 2, the VGT shall immediately cease the discharge of storm water from the basin(s) and do the following:
- a. Pump and haul the storm water that enters into the storm water basin(s) on the Property to the location authorized under Groundwater Discharge Permit No. GW11110726 until the discharge limit of 100 NTU for Sample Location 1, and 200 NTU for Sample Location 2, can be met before discharges can continue;

or

- b. Pump storm water detained in the basin(s), with or without treatment through the polyacrylamide (PAM) system identified in the 2015 SESC Permit, provided that the discharge limit of 100 NTU for Sample Location 1, and 200 NTU for Sample Location 2, are met at the discharge location(s) and that the discharge occurs through a filter bag in a permanently stabilized area on the Property so as to ensure that the discharge does not cause soil erosion or sedimentation from occurring at the discharge location.
- 3.11 If the MDEQ determines that corrective action is required due to sediment and/or sediment-laden water being discharged into waters of the state, the VGT shall be required to take corrective action to restore the affected area. The VGT shall submit to the MDEQ, a corrective action plan within 14 days of the MDEQ's determination detailing the actions the VGT will take to restore the affected areas and shall include a schedule for implementing the plan. In addition, the plan shall ensure that appropriate approvals and permit modification are obtained as required under paragraph 3.3 of this Consent Order. Upon approval by the MDEQ, WRD, the corrective action plan will be incorporated by reference into this Consent Order.
 - 3.12 The VGT shall have the Property inspected by a certified storm water operator for all disturbed areas and storm water discharge points every day that the VGT is actively conducting an earth change on the Property and during all rain events until the Part 31 and Part 91 permits are terminated. If VGT is not actively conducting an earth change activity on the Property and there are no rain events, then VGT shall inspect the site at least once per week. Each inspection shall be documented on a storm water log by the certified storm water operator and maintained on file at the Property by the VGT.
 - 3.13 The VGT shall submit electronic copies of all certified operator inspection logs required under paragraph 3.12 of this Consent Order for the previous month by the 10th day of

each month until a Notice of Termination (NOT) under Part 31 of the NREPA is issued certifying that the Property is permanently stabilized.

- 3.14 The VGT shall conduct weekly meetings with its contractors and staff to discuss the SESC conditions and actions needed on the Property to ensure compliance with Part 31 and Part 91 of the NREPA. The VGT shall document the weekly meetings and include the names of the participants, the date and time the meetings took place, and the topics discussed. The VGT shall submit electronic copies of the weekly meeting logs for the previous month by the 10th day of each month in the same manner as required for the certified operator inspection logs under paragraph 3.13 of this Consent Order.
- 3.15 Not later than five days after the effective date of this Consent Order, the VGT shall provide the MDEQ the name of the person designated as the contact person for the Property who has the oversight authority on ensuring the Property is in compliance with Part 31 and Part 91 of the NREPA. The VGT shall provide the MDEQ the name of any new or additional persons designated a contact person under this paragraph within five days of their designation.
- 3.16 Not later than October 31, 2015, the VGT shall have completed all activities under the 2015 SESC Permit, including permanent stabilization of the Construction Site. The Construction Site is considered permanently stabilized when all permanent control measures have been installed, maintenance for the permanent controls has been arranged, vegetation is well established throughout all areas that were disturbed, and temporary controls have been removed.
- 3.17 The VGT shall schedule a final review with the MDEQ and the Grand Traverse CEA to verify that the Construction Site has been permanently stabilized as required under Part 31 and Part 91 of the NREPA. Once the MDEQ determines the Construction Site is permanently stabilized, the VGT shall submit an NOT as required under the Permit-by-Rule for the storm water coverage to the MDEQ within ten days of the final review.

- 3.18 The VGT agrees not to conduct any additional earth changes for any future development on the Property outside of the Construction Site until the Construction Site is permanently stabilized and the NOT is submitted as required under paragraph 3.17 of this Consent Order.
- 3.19 The restrictions in paragraphs 3.18 of this Consent Order shall not apply to earth changes on the northern and eastern edges of the Property associated with the right-of-way improvements conducted on M-72 and Lautner Road scheduled to be completed in 2015 by the Michigan Department of Transportation. Nothing in this Consent Order is intended to abridge or restrict the ability of the proper parties to secure a permit and complete the road improvement work.
- 3.20 The VGT shall submit all reports, work plans, specifications, schedules, or any other writing required by this section to the MDEQ, WRD, Cadillac District Supervisor, 120 West Chapin Street, Cadillac, Michigan 49601-2158. The cover letter with each submittal shall identify the specific paragraph and requirement of this Consent Order that the submittal is intended to satisfy.

IV. MDEQ APPROVAL OF SUBMITTALS

- 4.1 For any work plan, proposal, or other document, excluding applications for permits or licenses, that are required by this Consent Order to be submitted to the MDEQ by the VGT, the process and terms of approval, below, shall apply.
- 4.2 All work plans, proposals, and other documents required to be submitted by this Consent Order shall include all of the information required by the applicable statute and/or rule, and all of the information required by the applicable paragraph(s) of this Consent Order.
- 4.3 In the event the MDEQ disapproves a work plan, proposal, or other document, it will notify the VGT, in writing, specifying the reasons for such disapproval. The VGT shall

submit, within 30 days of receipt of such disapproval, a revised work plan, proposal, or other document that adequately addresses the reasons for the MDEQ's disapproval. If the revised work plan, proposal, or other document is still not acceptable to the MDEQ, the MDEQ will notify the VGT of this disapproval.

- 4.4 In the event the MDEQ approves with specific modifications a work plan, proposal, or other document, it will notify the VGT, in writing, specifying the modifications required to be made to such work plan, proposal, or other document prior to its implementation and the specific reasons for such modifications. The MDEQ may require the VGT to submit, prior to implementation and within 30 days of receipt of such approval with specific modifications, a revised work plan, proposal, or other document that adequately addresses such modifications. If the revised work plan, proposal, or other document is still not acceptable to the MDEQ, the MDEQ will notify the VGT of this disapproval.
- 4.5 Upon MDEQ approval, or approval with modifications, of a work plan, proposal, or other document, such work plan, proposal, or other document shall be incorporated by reference into this Consent Order and shall be enforceable in accordance with the provisions of this Consent Order.
- 4.6 Failure by the VGT to submit an approvable work plan, proposal, or other document, within the applicable time periods specified above, constitutes a violation of this Consent Order and shall subject the VGT to the enforcement provisions of this Consent Order, including the stipulated penalty provisions specified in paragraph 9.3 of this Consent Order.
- 4.7 Any delays caused by the VGT's failure to submit an approvable work plan, proposal, or other document when due shall in no way affect or alter the VGT's responsibility to comply with any other deadline(s) specified in this Consent Order.
- 4.8 No informal advice, guidance, suggestions, or comments by the MDEQ regarding reports, work plans, plans, specifications, schedules, or any other writing submitted by

the VGT will be construed as relieving the VGT of its obligation to obtain written approval, if and when required by this Consent Order.

V. EXTENSIONS

- 5.1 The VGT and the MDEQ agree that the MDEQ may grant the VGT a reasonable extension of the specified deadlines set forth in this Consent Order. Any extension shall be preceded by a written request in duplicate to the MDEQ, WRD, Water Enforcement Unit Chief, P.O. Box 30458, Lansing, Michigan 48909-7958, and the MDEQ, WRD, Cadillac District Supervisor, at the address in paragraph 3.20 of this Consent Order, no later than ten business days prior to the pertinent deadline, and shall include:
- a. Identification of the specific deadline(s) of this Consent Order that will not be met.
 - b. A detailed description of the circumstances that will prevent the VGT from meeting the deadline(s).
 - c. A description of the measures the VGT has taken and/or intends to take to meet the required deadline.
 - d. The length of the extension requested and the specific date on which the obligation will be met.

The Cadillac District Supervisor or a designee, in consultation with the Water Enforcement Unit Chief, shall respond in writing to such requests. No change or modification to this Consent Order shall be valid unless in writing from the MDEQ and, if applicable, signed by both parties.

VI. REPORTING

- 6.1 The VGT shall verbally report any violation(s) of the terms and conditions of this Consent Order to the MDEQ, WRD, Cadillac District Supervisor, by no later than the close of the next business day following detection of such violation(s) and shall follow such notification with a written report within five business days following detection of such

violation(s). The written report shall include a detailed description of the violation(s), as well as a description of any actions proposed or taken to correct the violation(s). The VGT shall report any anticipated violation(s) of this Consent Order to the above-referenced individual in advance of the relevant deadlines whenever possible.

VII. RETENTION OF RECORDS

- 7.1 Upon request by an authorized representative of the MDEQ, the VGT shall make available to the MDEQ all records, plans, logs, and other documents required to be maintained under this Consent Order or pursuant to the NREPA or its rules. All such documents shall be retained by the VGT for at least a period of five years from the date of generation of the record unless a longer period of record retention is required by the NREPA or its rules.

VIII. RIGHT OF ENTRY

- 8.1 The VGT shall allow any authorized representative or contractor of the MDEQ, upon presentation of proper credentials, to enter upon the premises of the facility at all reasonable times for the purpose of monitoring compliance with the provisions of this Consent Order. This paragraph in no way limits the authority of the MDEQ to conduct tests and inspections pursuant to the NREPA and the rules promulgated thereunder or any other applicable statutory provision.

IX. PENALTIES

- 9.1 The VGT agrees to pay to the State of Michigan **\$20,000** as partial compensation for the cost of investigations and enforcement activities arising from the violations specified in Section II of this Consent Order. Payment shall be made in accordance with paragraph 9.7 of this Consent Order.
- 9.2 The VGT agrees to pay a civil fine of **\$20,000** for the violations specified in Section II of

this Consent Order. Payment shall be made in accordance with paragraph 9.7 of this Consent Order.

- 9.3 Except as provided in paragraphs 9.5 and 9.6, for each failure to comply with a provision of Section III or IV of this Consent Order, the VGT shall pay stipulated penalties of **\$200** per violation per day for 1 to 7 days of violation, **\$300** per violation per day for 8 to 14 days of violation, and **\$500** per violation per day for each day of violation thereafter. Payment shall be made in accordance with paragraph 9.7 of this Consent Order.
- 9.4 For each failure to comply with a provision of Section VI, VII, or VIII of this Consent Order, or any other requirement of this Consent Order, the VGT shall pay stipulated penalties of **\$200** per violation per day for each day of violation. Payment shall be made in accordance with paragraph 9.7 of this Consent Order.
- 9.5 For each failure to comply with the daily maximum limit for Sample Locations 1 and 2 as required under paragraph 3.5 and 3.6 of this Consent Order, the VGT shall pay a stipulated penalty of **\$5,000** per day according to the following schedule and terms:
- a. The stipulated payment shall accrue and be payable starting on the second day of violation and every consecutive day of violation thereafter if Sample Location 1 exceeds the daily maximum of 100 NTU or Sample Location 2 exceeds the daily maximum of 200 NTU.
 - b. Notwithstanding subparagraph 9.5(a), above, the stipulated payment shall accrue and be payable on the first day of violation and for every consecutive day of violation thereafter if:
 - i. Sample Location 1 exceeds the daily maximum limit of 200 NTU, or
 - ii. Sample Location 2 exceeds the daily maximum limit of 300 NTU, or
 - iii. Sample Location 3 exceeds a daily maximum limit of 50 NTU.
 - c. The stipulated penalties calculated under this paragraph 9.5 are cumulative, but shall not exceed **\$10,000** for each day of violation.

d. Payment shall be made in accordance with paragraph 9.7 of this Consent Order.

9.6 If a discharge of sediment-laden and/or turbid water from the Property exceeding the 50 NTU daily maximum limit at Sample Location 3 reaches the Grand Traverse Bay, the MDEQ may demand payment of stipulated penalties and the VGT shall pay stipulated penalties as follows:

- First Discharge - **\$2,500**
- Second Discharge - **\$5,000**
- Third Discharge - **\$10,000**
- Fourth Discharge - **\$15,000**
- Fifth Discharge and Every Discharge Thereafter- **\$20,000**

However, if the MDEQ determines that the discharge from the Property into the Grand Traverse Bay is due to a significant event, the VGT shall be subjected to stipulated penalties of **\$20,000** for each day the sediment-laden and/or turbid water persists in the Bay. In assessing penalties under this provision, MDEQ shall consider mitigating factors such as upstream contributions. Payment shall be made in accordance with paragraph 9.7 of this Consent Order.

9.7 All payments shall be submitted within 30 days of receipt of an invoice from the MDEQ. The VGT agrees to pay all funds due pursuant to this agreement by check made payable to the State of Michigan and delivered to the Accounting Services Division, Cashier's Office for the MDEQ, P.O. Box 30657, Lansing, Michigan 48909-8157, or hand delivered to the Accounting Services Division, Cashier's Office for the MDEQ, 425 West Ottawa Street, Lansing, Michigan 48933. To ensure proper credit, all payments made pursuant to this Consent Order must include the **Payment Identification No. WRD40095**.

9.8 The VGT agrees not to contest the legality of the civil fine or costs paid pursuant to paragraphs 9.1 and 9.2 of this Consent Order. The VGT further agrees not to contest

the legality of any stipulated penalties assessed pursuant to paragraphs 9.3, 9.4, 9.5, or 9.6 of this Consent Order, but reserves the right to dispute the factual basis upon which a demand by the MDEQ for stipulated penalties is made.

- 9.9 The MDEQ reserves its rights to seek interest on any unpaid sums due pursuant to the terms of this Consent Order. Subject to the other provisions of Section IX of this Consent Order, the MDEQ may waive, in its unreviewable discretion, any portion of stipulated penalties and interest that has accrued pursuant to this Consent Order. This interest penalty shall be based on the rate set forth at MCL 600.6013(8), using the full increment of amount due as principal, and calculated from the due date for the payment until the delinquent payment is finally made in full.

X. FORCE MAJEURE

- 10.1 The VGT shall perform the requirements of this Consent Order within the time limits established herein, unless performance is prevented or delayed by events that constitute a *Force Majeure*. Any delay in the performance attributable to a *Force Majeure* shall not be deemed a violation of the VGT's obligations under this Consent Order in accordance with this section.
- 10.2 For the purpose of this Consent Order, "*Force Majeure*" means an occurrence or nonoccurrence arising from causes not foreseeable, beyond the control of, and without the fault of the VGT, such as: an Act of God, untimely review of permit applications or submissions by the MDEQ or other applicable authority, and acts or omissions of third parties that could not have been avoided or overcome by the VGT's diligence and that delay the performance of an obligation under this Consent Order. *Force Majeure* does not include, among other things, unanticipated or increased costs, changed financial circumstances, or failure to obtain a permit or license as a result of the VGT's actions or omissions.

- 10.3 The VGT shall notify the MDEQ, by telephone, within 48 hours of discovering any event that may cause a delay in its compliance with any provision of this Consent Order. Verbal notice shall be followed by written notice within ten calendar days and shall describe, in detail, the anticipated length of delay, the precise cause or causes of delay, the measures taken by the VGT to prevent or minimize the delay, and the timetable by which those measures shall be implemented. The VGT shall adopt all reasonable measures to avoid or minimize any such delay. Nothing in this paragraph obviates the need to report violations as required by paragraph 6.1 of this Consent Order.
- 10.4 Failure of the VGT to comply with the notice requirements and time provisions under paragraph 10.3 of this Consent Order shall render Section X of this Consent Order void and of no force and effect as to the particular incident involved. The MDEQ may, at its sole discretion and in appropriate circumstances, waive in writing the notice requirements of paragraph 10.3 of this Consent Order.
- 10.5 If the parties agree that the delay or anticipated delay was beyond the control of the VGT, this may be so stipulated, and the parties to this Consent Order may agree upon an appropriate modification of this Consent Order. However, the MDEQ is the final decision maker on whether or not the matter at issue constitutes a *Force Majeure*. The burden of proving that any delay was beyond the reasonable control of the VGT, and that all the requirements of Section X of this Consent Order have been met by the VGT, rests with the VGT.
-
- 10.6 An extension of one compliance date based upon a particular incident does not necessarily mean that the VGT qualifies for an extension of a subsequent compliance date without providing proof regarding each incremental step or other requirement for which an extension is sought.

XI. GENERAL PROVISIONS

- 11.1 With respect to any violations not specifically addressed and resolved by this Consent Order, the MDEQ reserves the right to pursue any other remedies to which it is entitled for any failure on the part of the VGT to comply with the requirements of the NREPA and its rules.
- 11.2 The MDEQ and the VGT consent to enforcement of this Consent Order in the same manner and by the same procedures for all final orders entered pursuant to Part 31 and Part 91 of the NREPA.
- 11.3 This Consent Order in no way affects the VGT's responsibility to comply with any other applicable state, federal, or local laws or regulations.
- 11.4 The MDEQ, WRD, reserves its right to pursue appropriate action, including injunctive relief to enforce the provisions of this Consent Order, and at its discretion, may also seek stipulated fines or statutory fines for any violation of this Consent Order. However, the MDEQ, WRD, is precluded from seeking both a stipulated fine under this Consent Order and a statutory fine for the same violation.
- 11.5 The parties agree to diligently and in good faith pursue informal negotiations to resolve any disputes arising out of this Consent Order prior to resorting to judicial enforcement. Such negotiations shall proceed in a timely manner.
- 11.6 Nothing in this Consent Order is or shall be considered to affect any liability the VGT may have for natural resource damages caused by the VGT's ownership and/or operation of the facility. The State of Michigan does not waive any rights to bring an appropriate action to recover such damages to the natural resources.
- 11.7 In the event the VGT proposes to sell or transfer an interest in the Property, in whole or part, it shall provide any purchaser or transferee with a copy of this Consent Order,

including all attachments and any amendments or modifications. The VGT shall also send duplicate written notices to the MDEQ, WRD, Cadillac District Supervisor, at the address in paragraph 3.20 of this Consent Order and to the MDEQ, WRD, Water Enforcement Unit Chief, at the address in paragraph 5.1 of this Consent Order. The written notice shall be provided to the MDEQ no less than 30 calendar days before the sale or transfer closes or actions are taken that conclude the sale or transfer. The written notice shall include the identity, address, and telephone number of any purchaser or transferee, and confirm the fact that notice of this Consent Order has been given to the purchaser or transferee.

The purchaser or transferee of this Consent Order must enter into a written agreement assuming all of the obligations of this Consent Order that the MDEQ determines are appropriate for the area(s) of the Property being sold or transferred prior to closing or other actions that conclude the sale or transfer of all or part of the Property.

Notwithstanding any oral or written agreement between the VGT and a potential or actual purchaser or transferee of the Property, the VGT shall remain bound by this Consent Order until the MDEQ issues a Termination Notice (TN) under Section XII of this Consent Order, including in the following circumstances: (a) if the purchaser or transferee of the Property does not enter into a written agreement with the MDEQ assuming all appropriate obligations of this Consent Order; (b) if the VGT does not actually sell or transfer the Property even if the purchaser or transferee has entered into a written agreement with the MDEQ assuming all appropriate obligations of this Consent Order; or (c) if the VGT retains any legal interest in the Property following the sale or transfer of an interest in the Property.

- 11.8 The provisions of this Consent Order shall apply to and be binding upon the parties to this Consent Order and their successors and assigns.

- 11.9 This Consent Order constitutes a civil settlement and satisfaction as to the resolution of the violations specifically addressed herein; however, it does not resolve any criminal action that may result from these same violations.

XII. TERMINATION


- 12.1 This Consent Order shall remain in full force and effect until terminated by a written TN issued by the MDEQ. Prior to issuance of a written TN, the VGT shall submit a request consisting of a written certification that the VGT has fully complied with the requirements of this Consent Order and has made payment of any fines, including stipulated penalties, required in this Consent Order. A suggested form for providing the required written certification is appended as Attachment C. Specifically, an acceptable certification shall include:
- a. The date of compliance with each provision of the compliance program in Section III of this Consent Order, and the date any fines or penalties were paid.
 - b. A statement that all required information has been reported to the MDEQ, WRD, Cadillac District Supervisor.
 - c. Confirmation that all records required to be maintained pursuant to this Consent Order are being maintained at the facility.

The MDEQ may also request additional relevant information. The MDEQ shall not unreasonably withhold issuance of a TN.

Signatories

The undersigned CERTIFY they are fully authorized by the party they represent to enter into this Consent Order to comply by consent and to EXECUTE and LEGALLY BIND that party to it.

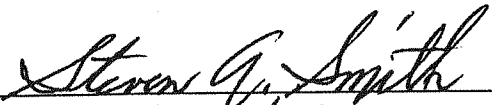
MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY



William Creal, Chief
Water Resources Division

4-16-2015
Date

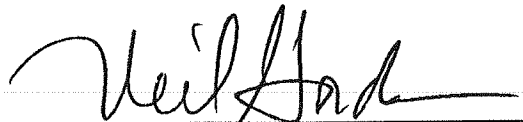
THE VILLAGE AT GRAND TRAVERSE, L.L.C.



By: Member/Manager
Title:

4-14-15
Date

APPROVED AS TO FORM:



By: Neil D. Gordon, Assistant Attorney General
For: S. Peter Manning, Chief
Environment, Natural Resources, and Agriculture Division
Michigan Department of Attorney General

4/16/15
Date

ATTACHMENT A



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
GAYLORD FIELD OFFICE



DAN WYANT
DIRECTOR

October 10, 2014

CERTIFIED MAIL – RETURN RECEIPT REQUESTED

Mr. J.R. Anderson
Village at Grand Traverse LLC
3805 Edwards Road Suite 700
Cincinnati, Ohio 45209

Dear Mr. Anderson:

SUBJECT: Storm Water Construction Inspection
NPDES Permit No. MIR112950
Designated Name: Grand Traverse Town Center-Acme

On October 2, 2014, staff from the Department of Environmental Quality (DEQ), Water Resources Division (WRD) inspected the Grand Traverse Town Center Construction Project (Construction Site), located at M-72 and Lautner Road, Acme, Michigan 49610. The inspection was to determine compliance with Part 31, Water Resources Protection, of the Natural Resources and Environmental Protection Act (NREPA), 1994 PA 451, as amended, MCL 324.3101 *et seq.*, and the Administrative Rules promulgated there under (Part 31). As well as compliance with Part 91, Soil Erosion and Sedimentation Control (SESC) of the NREPA, 1994 PA 451, as amended, MCL 324.9101 *et seq.*, and the Administrative Rules promulgated there under (Part 91).

Mr. Mark Walters, Construction Storm Water (CSW) Operator/SESC Inspector, and Mr. Steve Folkersma, Project Manager, participated in the inspection. The inspection included an in depth review/walk through of the site to make sure the SESC measures implemented are performing properly to prevent sediment-laden water from leaving the site, as well as a thorough review of the CSW/SESC inspection logs. The Construction site did have some areas of concern, as well as the following violations that were found during the inspection.

1. Following the implementation of several SESC measures and after a site visit conducted on September 23, 2014, there was still a discharge of sediment-laden water to the regulated wetlands at the end of the slow release channels of basin one and two. Although no water entered Acme Creek, this is still a violation of Part 31 and Part 91.
2. During the inspection, sediment laden water was found discharging off the south side of the property into regulated wetlands. This is a violation of Part 31 and Part 91. DEQ staff confirmed on October 9, 2014 that material has eroded into the wetland on the south edge of the project area, beyond the boundary as permitted under DEQ File No. 11-28-0034-P. As discussed during the October 9, 2014, site meeting between Mr. Folkersma, Mr. Terry Boyd, Gourdie-Fraser, and Robyn Schmidt, DEQ, the material that has eroded into the wetland, beyond the permitted boundary must be removed, under the authority of Part 303, Wetlands Protection, of NREPA, 1994 PA 451, as amended (Part 303). To comply with Part 303, Part 31 and Part 91 the following wetland restoration actions are required to resolve this issue:

- a) Remove all eroded fill from the wetland, beyond the permitted boundary, using either a Vac-truck or an excavator.
- b) Restore the wetland to the original grade, as is feasible, without impacting the existing plant roots. The DEQ understands this may require a few inches (less than 4-inches) of material to remain in the wetland area.
- c) Place the material removed from the wetland in an on-site upland location or within the permitted area.
- d) Immediately upon completion of the wetland restoration requirements contact Robyn Schmidt, DEQ, to schedule a follow up inspection.

There were also several areas of concern that the DEQ staff noticed during the inspection that could lead to future violations if not corrected by the Construction Site. Those are as follows.

1. There were several areas where the silt fences were overtopped by storm water and needed to be fixed. It was noted that staff was correcting this during the inspection.
2. The CSW/SESC inspection logs from July 4, 2014 till August 18, 2014 were not on site with the rest of the logs at the time of the inspection. Mr. Walters, Storm Water Inspector, said he has all the logs saved electronically and that he must have forgotten to put them in the book. These will need to be emailed to Justin Bragg, DEQ, upon receiving this letter.
3. There is still a concern with sediment-laden surface water possibly leaving the site. The Polyacrylamides/floc logs (soap on a rope) did not seem to be settling out the sediment picked up during runoff. A bench test should be done to see if the floc logs that are being used will work for the type of sediment on this site.
4. There was an area to the Southwest of the site where the mulch was dislodged and started to wash away. This area should be fixed so future erosion does not take place.
5. Vegetation is not established on the site yet, and these areas will need to be monitored closely, going forward to make sure that no erosion occurs and that no sedimentation leaves the site. The facility should review their SESC measures and research possibilities that could be used to temporarily stabilize the site without vegetation.

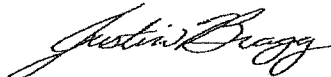
Please resolve the soil erosion violations/concerns listed above by **October 24, 2014**. The wetland restoration must be completed not later than **November 10, 2014**. Once these actions are completed by the listed dates, a response needs to be sent to the Gaylord Field Office. At a minimum, the responses shall include:

1. What has been done and/or will be done in the future, with a timeline, to prevent another discharge of any type of sediment-laden water from leaving the site. Please provide photos, if appropriate, to demonstrate the effectiveness of SESC measures that have been implemented as a result of this violation.
2. A complete SESC plan highlighting the new SESC measures put in place that addresses all areas of earth disturbance. Including a revised timing and sequencing plan that includes a detailed projected schedule for the remaining earth change activities through the anticipated final stabilization efforts.

October 10, 2014

We anticipate and appreciate your cooperation in resolving this matter. Should you require further information regarding this matter or if you would like to arrange a meeting to discuss, please contact me at 989-705-3438; braggj@michigan.gov; or DEQ, WRD, Gaylord Field Office, 2100 W. M-32, Gaylord, Michigan 49735. If you have any question regarding the wetland restoration, please contact Ms. Robyn Schmidt, DEQ, WRD, Cadillac District Office, at 231-876-4444.

Sincerely,



Justin Bragg,
Environmental Quality Analyst
Gaylord Field Office
Water Resources Division

Enclosure

Cc/enc: Mr. Brian Jankowski, DEQ
Mr. Joe Haas, DEQ
Mr. Pete Bruski, Grand Traverse County CEA
Mr. Steve Schooler, Director of Construction
Mr. Terry Boyd, Gourdie Fraser
Mr. Steve Folkersma, Team Elmer's

DEQ-WATER RESOURCES DIVISION
POST INSPECTION REPORT

Gr Traverse Town Center-Acme
Storm Water Construction Inspection
Inspection ID: 57717

FACILITY INFORMATION

Facility Name: Gr Traverse Town Center-Acme
Facility Address:

M-72 and Lautner Road, SW Corner
Acme, Michigan 49610

Facility Phone:

Facility Contact:

Facility Contact Phone:

Permit Reviewed Permit No.: MIR112950

Issued: 6/26/2014

Effective: 6/26/2014

Expires: 6/14/2015

App. Due:

Certified Operator: Blain Scheller

Certified Operator Phone:

Primary Industry:

Nature of Business:

Wastewater Treatment Processes:

Municipal Classification Code: N/A

Major: No

INSPECTION INFORMATION

Insp Start Date
10/02/14

Insp End Date
10/02/14

Transmittal Date

Sampling Start Date
N/A

Sampling End Date
N/A

DEQ Inspector(s)
Justin Bragg

Workgroup
Cadillac

Inspection Contact(s)

<u>Name</u>	<u>Working Title</u>	<u>Phone Number</u>
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Inspection Summary/Notes

Mr. Mark Walters, the Construction Storm Water (CSW) Operator/SESC Inspector, and Mr. Steve Folkersma the Project Manager, participated in the inspection with Justin Bragg of the DEQ. The inspection included an in depth review/walk through of the site to make sure the SESC measures implemented are performing properly to prevent sediment-laden water from leaving the site, as well as a thorough review of the CSW/SESC inspection logs. The Construction site did have some areas of concern, as well as the following violations that were found during the inspection.

1. Following the implementation of several SESC measures, after a site visit conducted on September 23, 2014, there was still a discharge of sediment-laden water to the regulated wetlands at the end of the slow release channels of basin one and two. Although no water entered Acme Creek this is still a violation of Part 31 and Part 91.
2. During the inspection of the site it was also found that sediment laden water was discharged off the south side of the property and into regulated wetlands. This is a violation of Part 31 and Part 91 as well. For this area we do not recommend cleaning up the sediment deposition in the wetlands until the ground is firm enough to get heavy equipment down there. The side of this hill should be stabilized though in order to prevent future erosion into the wetlands.

**DEQ-WATER RESOURCES DIVISION
POST INSPECTION REPORT**

There were also several areas of concern that the DEQ staff noticed during the inspection that could lead to future violations if not corrected by the Construction Site. Those are as follows.

1. There were several areas where the silt fences were overtopped by storm water and needed to be fixed. It was noted that staff was correcting this during the inspection.
2. The CSW/SESC inspection logs from July 4, 2014 till August 18, 2014 were not on site with the rest of the logs at the time of the inspection. Mr. Walters, the storm water inspector said he has all the logs saved electronically and that he must have forgot to put them in the book. These will need to be emailed to be upon receiving this letter.
3. There is still a concern with sediment-laden surface water possibly leaving the site. The Polyacrylamides/floc logs (soap on a rope) did not seem to be settling out the sediment picked up during runoff. A bench test should be done to see if the floc logs that are being used will work for the type of sediment on this site.
4. There was an area to the Southwest of the site where the mulch was dislodged and started to wash away. This area should be fixed so future erosion does not take place.
5. Vegetation is not established on the site yet, and these areas will need to be monitored closely going forward to make sure that no erosion occurs and that no sedimentation leaves the site. The facility should review their SESC measures and research possibilities that could be used to temporarily stabilize the site without vegetation.

AREAS EVALUATED

Comment

OVERALL SITE RATING Marginal

They need to find a better way to filter out the fine clay particles from the surface storm water runoff. They should consider getting a rain gauge so that their inspection logs accurately match the amount of rain received in site.

PROCEDURES FOLLOWED Satisfactory

SEDIMENT DISCHARGED OFF-SITE Marginal

There is sediment leaving the site, it is going to the regulated wetlands but not to Acme Creek. This needs to be fixed so that sediment-laden storm water is leaving the site. I say marginal because they were working on fixing it with PAMS while I was inspecting.

SEDIMENT DISCHARGE TO WATERS OF STATE Un-Satisfactory

There was some sediment-laden water getting into the surrounding regulated wetlands.

SESC PERMIT COMPLIANCE Marginal

There were a couple inspection logs missing.

SESC PERMIT ON-SITE Satisfactory

SESC PLAN APPROPRIATE Marginal

DEQ-WATER RESOURCES DIVISION
POST INSPECTION REPORT

There are still a couple areas that need to be worked on. The system does not seem to be well designed for fine clay particles.

SESC PLAN COMPLIANCE Marginal

The drainage to the west of Basin #2 is causing a problem. The wetland area to the south of the site needs to be remediated. The slow release basin channels need to be worked on to make sure not fine clay particles are leaving the site.

SESC PLAN ON-SITE Satisfactory

ACCESS ROAD Satisfactory

They are wet but are pretty good overall.

CHECK DAMS Satisfactory

DEWATERING Satisfactory

When dewatering the sediment basins they are pumping the water through a storm klear system and a filter bag that seems to be working well.

EROSION CONTROL BLANKETS Marginal

They are not working to keep the fine clay particles on the site, other temporary measures should be researched and utilized to keep the clay particles on site.

INSPECTION LOGS Marginal

The logs for 7/4/14-8/18/14 were not in the log book. According to the inspector they are saved electronically. These should be sent to me as soon as they receive their compliance letter.

RIPRAP Satisfactory

ROAD/STREAM CROSSING Not Applicable

RUBBISH/CHEMICAL CONTROL Marginal

The Polyacrylamides are not working the way they should be, and a bench test should be completed to make sure that they have the correct floc logs (soap on a rope) for the sediment on site.

SCHEDULING/STAGING Marginal

DEQ- WATER RESOURCES DIVISION
POST INSPECTION REPORT

SEDIMENT BASIN(S) Un-Satisfactory

Basin #2 was not online at the time of the inspection. The basins also do not work very well to settle out the fine clay particles of this site.

SILT FENCE Marginal

Silt fences were overtopped in a couple areas, they were being fixed as I was inspecting the facility.

SPOIL PILE(S) Not Applicable

STABILIZED OUTLETS Un-Satisfactory

There are still clay particles in the water coming out of the stabilized outlets of the drainage basins.

STORM SEWER INLETSSatisfactory

The storm sewer inlets that are in place are working well, and protected, but not all the curbing is put in yet.

STORM WATER BASIN(S) Un-Satisfactory

Basin #2 was not online at the time of the inspection. The basins also do not work very well to settle out the fine clay particles of this site.

VEGETATIVE COVER/MULCHING Marginal

There is no vegetative cover, but the mulch and seeding has been applied. The site is still having a problem with fine clay particles.

OTHER Not Evaluated

VIOLATIONS

Effluent Violations

Viol ID	Detection Date	Mon. Point	Mon. Point Descript.	Parameter	Permit Limit	Sample Result	Limit Type	Status
None								

SOC Violations

Viol ID	SOC ID	Program Name	Schedule Name	Due Date	Detection Date	SOC Status	Violation Status

DEQ-WATER RESOURCES DIVISION
POST INSPECTION REPORT

DMR/CMR Report Submittal Violations

Viol ID	Report Start Date	Report End Date	Report Due Date	Type	Viol Status

Other Violations

Viol. ID	Detection Date	Violation Category	Violation Type	Violation Status

ENFORCEMENT

Enf. ID	Enf. No.	Enforcement Type	Action Type	Issued Date	Issued By	Enf. Status

FOLLOW-UP ACTION

Item ID	Item Name	Due Date	Received Date	Approved Date	Locked	Item Type

Comments/Notes

Completed by Justin Bragg

Date 10/8/14



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
GAYLORD FIELD OFFICE



DAN WYANT
DIRECTOR

October 21, 2014

CERTIFIED MAIL – RETURN RECEIPT REQUESTED

Mr. J.R. Anderson
Village at Grand Traverse LLC
3805 Edwards Road, Suite 700
Cincinnati, Ohio 45209

VN No. VN-005944

Dear Mr. Anderson:

SUBJECT: Violation Notice, Natural Resources and Environmental Protection Act,
Grand Traverse Town Center Construction Project, Acme Township, Michigan

The Department of Environmental Quality (DEQ), Water Resources Division (WRD), has inspected the Grand Traverse Town Center Construction Project (hereafter "site" or "construction site"), located at M-72 and Lautner Road, Acme, Michigan 49610 to determine compliance with Part 31, Water Resources Protection, of the Natural Resources and Environmental Protection Act (NREPA), 1994 PA 451, as amended, MCL 324.3101 *et seq.*, and the Administrative Rules promulgated there under (hereafter Part 31), as well as compliance with Part 91, Soil Erosion and Sedimentation Control (SESC) of the NREPA, 1994 PA 451, as amended, MCL 324.9101 *et seq.*, and the Administrative Rules promulgated there under (hereafter Part 91), and Rule 323.2190, Permit-By-Rule of the 1979 Administrative Code; and your National Pollutant Discharge Elimination System (NPDES) Notice of Coverage (NOC) No. MIR112950, which was issued on June 26, 2014.

The construction site was initially inspected by WRD staff on September 23, 2014, after heavy rains. Follow up inspections performed by WRD staff occurred on October 2, 2014, October 3, 2014, and October 15, 2014. The inspections were intended to verify if the SESC measures were functioning sufficiently, and to determine if a storm water discharge containing suspended sediment or other pollutants was occurring to any waters of the state, in violation of Part 31, Part 91, and your NOC.

On each of the above noted inspection dates, WRD staff observed the unlawful discharge of soils from the construction site to either wetlands and/or Acme Creek. The purpose of this letter is to identify and provide notice of violations of the above-cited Acts, Permit, and NOC. As a result of these discharges, the receiving water (including wetlands) contained suspended sediment and/or sediment deposits significant enough to result in unnatural quantities of physical properties in those waters, including discernable increases in turbidity and suspended solids, changes in color, and/or deposition, in violation of Part 31 and its associated Administrative Rules.

It is integrally recognized and understood that a discharge of storm water to Acme Creek that contains eroded/suspended soil particles results in a discharge of the same to Grand Traverse Bay, particularly with respect to the minute silt and clay particles that will not readily settle and deposit in Acme Creek. However, even though the apparent, principle concern for the site resides with the mobilized and suspended silt and clay, and their impacts and fate in the receiving waters, migration and deposition of heavier silts and sand particles are also a concern.

Staff also observed that soil erosion control measures were not effective, contributing to the aforementioned discharges to the surface waters of the state. The control measures were ineffective because they were not fully installed and/or were not of a type sufficient to address the clay content of the site's soils, especially given the significant extent of the site that consisted of bare soils. The extent of the site that consisted of exposed soils was a principle contributor to the unlawful discharge. The failure to ensure adequate soil erosion control measures is a violation of Part 91 Section 9116, Section 1702(2) of the Part 91 Administrative Rules, and Section (2)(c) the Permit-by-Rule of Part 31.

Observations of the specific inspection dates follow:

1. The unlawful discharge of water containing suspended sediment (sediment-laden) from the construction site, in violation of Part 31, Part 91, and your NOC, was observed during the September 23, 2014, and October 2, 2014, inspections. These violations were cited in the compliance communication letter that was sent out to you by certified mail, and dated October 10, 2014. The direction and schedules provided in that letter are still in effect. Any direction and schedules provided herein are in addition to those identified in that October 10, 2014, letter.
2. On October 3, 2014 WRD staff inspected the construction site during or immediately following rain that had occurred that day and the previous night, to both assess the effectiveness of the additional SESC control measures the contractor (Team Elmer's) had implemented in previous days, and to determine if storm water containing suspended soils was continuing to unlawfully discharge to wetlands and/or other waters of the state. During the inspection, WRD staff observed sediment-laden water entering both regulated wetlands and Acme Creek from the area on site that is adjacent to "basin one" and its serpentine discharge channel. That evening, WRD staff observed and followed a discharge, originating from the site, of a distinct and very light tan colored water that can be additionally described as opaque, "cloudy" or "milky" (resulting from clay soil particles suspended and dispersed uniformly throughout the storm water). The "milky" water from this area of the construction site was followed into and through a wetland spur to a location at that wetland's confluence with Acme Creek. At the confluence that milky water could be visibly discerned entering the creek, in violation of Part 31, Part 91, and the NOC. Water being pumped through a filter bag was observed as a contributor to this unlawful discharge (WRD staff was able to track this milky water from that specific source to the aforementioned confluence or point of discharge into Acme Creek). Sediment from the site mobilized by prior rain events was also observed to have been deposited in regulated wetlands in violation of Part 303, Wetland Protection, of PA 451, as amended (NREPA). The October 10, 2014 letter, noted-above, contains direction regarding expected restoration activities with respect to Part 303.

The October 3, 2014 inspection also found other areas where opaque water containing suspended soils had reached Acme Creek or surface water features tributary to Acme Creek.

3. During the inspection on October 15, 2014, WRD staff found several violations at the site. Sediment-laden water was observed being pumped across the access drive off of Lautner Road. This same water was witnessed running along the ditch to the south of Lautner Road and leaving the site, constituting a Part 91 violation and a violation of your NOC. When informed of this, Team Elmer's did shut the pump off. Another Part 91 and NOC violation was noted in the northwest corner of the site where silt fence was overtopped with

sediment-laden water that was seen running onto the adjacent property to the west. Water was also observed being pumped through a Storm Klear system on the southwest part of the property. This water was viewed running downhill through a vegetative buffer and entering the Acme Creek wetland corridor, still opaque and diffused throughout with clay soil particles, in violation of Part 31, Part 91, and your NOC.

The Village at Grand Traverse LLC is expected to immediately take all necessary and otherwise lawful actions needed to achieve and maintain compliance with Part 91, Part 31 along with the terms and conditions of the NOC. Please note however, that the Village at Grand Traverse LLC or its authorized agents are expected to obtain any state, local, or federal regulatory approvals and permits applicable to any actions taken to bring the site into compliance, from the appropriate agencies.

Given the nature of the clay soils, the site topography, and large area of disturbed soil, and the present and forthcoming time of year, specific measures have considerably more merit. Measures that provide permanent or temporary cover of the exposed soils, and that shield those soils from rainfall, runoff, or channelized flow, are considered vital and most paramount to bringing the site into compliance. The site has been unable to effectively eliminate the violations of Part 91, Part 31, and the NOC, therefore Village at Grand Traverse, LLC should seek the assistance of a qualified consultant or other resource that specializes in soil erosion and sedimentation control to explore, evaluate, and implement available technologies needed to improve soil cohesion and/or provide protective soil cover, in conjunction with runoff control, to return the site to compliance and to ensure compliance is maintained throughout the duration of the project through final stabilization.

In addition, please submit a written response to this Violation Notice. Please send this response to Mr. Justin Bragg in the Gaylord Field Office, with a copy of the response to Mr. Brian Jankowski in the Cadillac District Office at 120 W. Chapin Street, Cadillac, MI 49601-2158, by October 29, 2014. At a minimum, the response shall include:

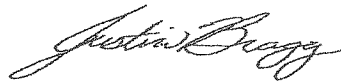
- A corrective action plan, with schedules, that identifies steps taken, and/or to be taken to immediately cease the aforementioned violations and to prevent further discharge of soil-laden water from the site to either regulated wetlands or any other waters of the state. This should include a detailed description and compilation of activities undertaken to date, and those planned for future implementation, to prevent another discharge of any type of water carrying soil from leaving the site and entering adjacent properties, wetlands or surface waters. Please provide photos, if appropriate, to demonstrate the placement of or effectiveness of SESC measures that have been implemented subsequent to this violation notice.
- A revised SESC plan highlighting the existing, new, and/or proposed SESC measures intended to address all areas of earth disturbance. Including a revised timing and sequencing plan that includes a detailed projected schedule for the remaining earth change activities through the anticipated final stabilization efforts.

If you have any factual information you would like us to consider regarding the violations identified in this Violation Notice, please provide them with your written response.

Please be advised that compliance with the terms and conditions of this Violation Notice does not constitute a release or waiver of liability for past or continuing violations of Parts 31, 91, or 303, the NOC, or other statutes, if applicable. Please be further advised that the DEQ reserves the right to require additional activities, including restoration activities in Acme Creek and its floodplains, wetlands or Grand Traverse Bay, along with other possible corrective actions as identified by WRD. The DEQ also reserves the right to take additional or escalated enforcement action and levy fines and penalties with regard to past, continuing or future violations.

We anticipate your cooperation in resolving this matter. Should you require further information, or if you would like to arrange a meeting to discuss these matters, please contact me directly at 989-705-3438; braggj@michigan.gov; or DEQ, WRD, Gaylord Field Office, 2100 W. M-32, Gaylord, Michigan 49735.

Sincerely,



Justin Bragg,
Environmental Quality Analyst
Gaylord Field Office
Water Resources Division

cc: Mr. Brian Jankowski, DEQ
Mr. Joe Haas, DEQ
Ms. Robyn Schmidt, DEQ
Mr. Bill Larsen, DEQ
Mr. Barry Selden, DEQ
Mr. Pete Bruski, Grand Traverse County CEA
Mr. Steve Schooler, Director of Construction
Mr. Terry Boyd, Gourdie Fraser
Mr. T. Eric Ritchie, Team Elmer's
Mr. Steve Folkersma, Team Elmer's
Mr. Jay B. Zollinger, Acme Township Supervisor



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
GAYLORD FIELD OFFICE



DAN WYANT
DIRECTOR

January 29, 2014

CERTIFIED MAIL – RETURN RECEIPT REQUESTED

Mr. J.R. Anderson
Village at Grand Traverse, LLC
3805 Edwards Road, Suite 700
Cincinnati, Ohio 45209

Violation Notice #VN-005987

Dear Mr. Anderson:

SUBJECT: Violation Notice, Natural Resources and Environmental Protection Act,
Grand Traverse Town Center Construction Project, Acme Township, Michigan

On November 24, 2014, staff from the Department of Environmental Quality (DEQ), Water Resources Division (WRD), conducted a Storm Water Construction Reconnaissance Inspection at the Grand Traverse Town Center Construction Project (hereafter Site), located at M-72 and Lautner Rd, Acme, Michigan 49610. The Purpose of this Inspection was to evaluate the Site's compliance with Part 31, Water Resources Protection, of the Natural Resources and Environmental Protection Act (NREPA), 1994 PA 451, as amended, MCL 324.3101 *et seq.*, and the Administrative Rules promulgated there under (hereafter Part 31), specifically, R 323.2190, Permit-By-Rule of the 1979 Administrative Code; and your National Pollutant Discharge Elimination System (NPDES) Notice of Coverage (NOC) No. MIR112950, issued on June 26, 2014; and compliance with Part 91, Soil Erosion and Sedimentation Control (SESC) of the NREPA, 1994 PA 451, as amended, MCL 324.9101 *et seq.*, and the Administrative Rules promulgated there under (hereafter Part 91).

Mr. Justin Bragg, WRD, conducted the inspection of the Site with participation from Mr. Mike Potter, Horizon Environmental. The purpose of the inspection was to verify SESC measures were installed according to the approved soil erosion plan, being maintained properly, and if the controls were adequate to prevent discharges of sediment off-site onto adjacent properties and/or into waters of the state. A discharge of sediment-laden storm water off-site and into waters of the state is a violation of Part 31, Part 91, and the Site's NOC. The following violations were found during the inspection:

1. A channelized discharge of sediment-laden storm water was observed entering Acme Creek to the north of the slow release channel of basin two. This is a violation of Part 31, Part 91, and the Site's NOC.
2. There was also a discharge of sediment-laden storm water to an adjacent property owner's storm water pond. The pond is located northwest of the Site, this discharge results in a violation of Part 91.
3. DEQ staff also observed significant track-out from the main entrance of the site on M-72. This is a violation of the Part 31, Part 91, and the Site's NOC.

The Village at Grand Traverse, LLC is expected to immediately take all necessary and otherwise lawful actions needed to achieve and maintain compliance with Part 31, Part 91, and the terms and conditions of the NOC. Please note, however, that the Village at Grand Traverse, LLC or its authorized agents are expected to obtain any state, local, or federal regulatory approvals and permits applicable to any actions taken to bring the site into compliance, from the appropriate agencies.

January 29, 2015

In addition, please submit a written response to this Violation Notice. Please send this response to Mr. Justin Bragg, Gaylord Field Office, with a copy of the response to Mr. Brian Jankowski, Cadillac District Office, 120 W. Chapin Street, Cadillac, Michigan 49601-2158, by February 12, 2015. At a minimum, the response shall include:

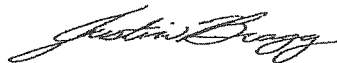
- A Corrective Action Plan (CAP), with schedules, that identifies steps taken, and/or to be taken to immediately cease the aforementioned violations and to prevent further discharge of soil-laden water from the site to either regulated wetlands or any other waters of the state. The DEQ understands that an up-to-date CAP was submitted January 22, 2015; however, that CAP did not address all areas of violation noted above. This CAP should include a detailed description and compilation of activities undertaken to date, and those planned for future implementation, to prevent another discharge of any type of soil-laden water, or soil from leaving the site and entering adjacent properties, wetlands or surface waters. Please provide photos, if appropriate, to demonstrate the placement of or effectiveness of SESC measures that have been implemented subsequent to this Violation Notice.

If you have any factual information you would like us to consider regarding the violations identified in this Violation Notice, please provide them with your written response.

Please be advised that compliance with the terms and conditions of this Violation Notice does not constitute a release or waiver of liability for past or continuing violations of Part 31, Part 91, or the Site's NOC, or other statutes, if applicable. Please be further advised that the DEQ reserves the right to require additional activities, including restoration activities in Acme Creek and its floodplains, wetlands or Grand Traverse Bay, along with other possible corrective actions as identified by WRD. The DEQ also reserves the right to take additional or escalated enforcement action and levy fines and penalties with regard to past, continuing or future violations.

We anticipate your cooperation in resolving this matter. Should you require further information, or if you would like to arrange a meeting to discuss these matters, please contact me directly at 989-705-3438; braggj@michigan.gov; or DEQ, WRD, Gaylord Field Office, 2100 W. M-32, Gaylord, Michigan 49735.

Sincerely,



Justin Bragg,
Environmental Quality Analyst
Gaylord Field Office
Water Resources Division

cc: Mr. Mike Masterson, DEQ
Mr. Bill Larsen, DEQ
Mr. Barry Selden, DEQ
Ms. Karen Boase, DEQ
Mr. Joseph Haas, DEQ
Mr. Brian Jankowski, DEQ
Mr. Pete Bruski, Grand Traverse County CEA
Mr. Jay B. Zollinger, Acme Township Supervisor
Mr. Steve Schooler, Director of Construction
Mr. Terry Boyd, Gourdie Fraser
Mr. T. Eric Ritchie, Team Elmer's
Mr. Steve Folkersma, Team Elmer's

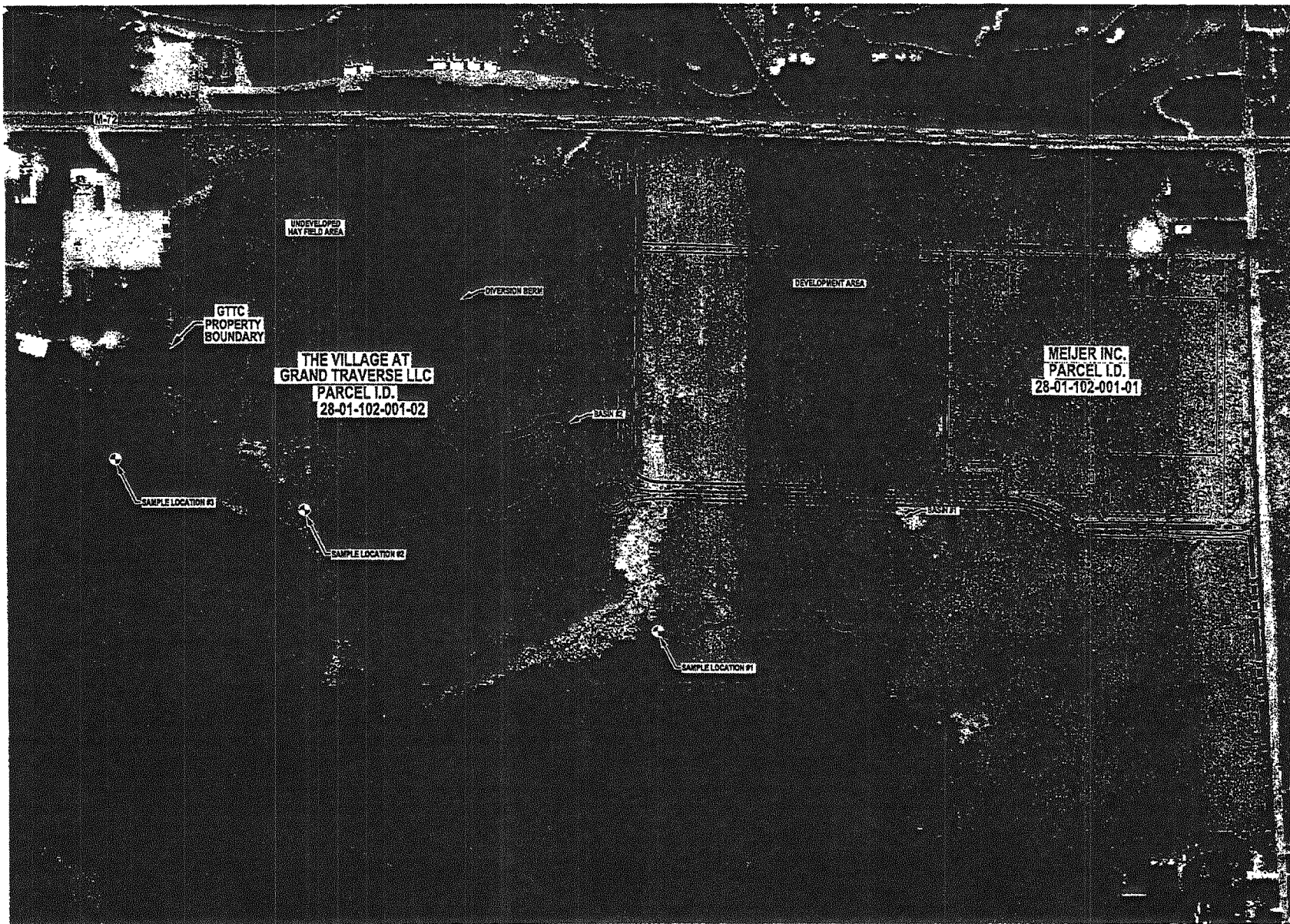


IMAGE SOURCE: USGS 2010 3M ORTHOMAGERY
SCALE APPROXIMATELY 1" = 200'

HORIZON ENVIRONMENTAL

PROJECT NUMBER:
WNJ-1401

Village at Grand Traverse
Acme Township, Grand Traverse County, Michigan

ATTACHMENT

SAMPLE LOCATION MAP

B
APRIL 2015



ATTACHMENT C

Michigan Department of Environmental Quality
Water Resources Division

ADMINISTRATIVE CONSENT ORDER TERMINATION REQUEST

The completion of this form is voluntary and is intended to be used as guidance for persons that are eligible to request the DEQ to issue a Termination Notice of their Administrative Consent Order (ACO). However, it may not be relied upon as being legally sufficient to cover all potential issues related to the specific requirements of the ACO. The DEQ does not assume any liability for the use of this document and encourages the user to seek independent legal advice before using this form to draft its certification and request for Termination of its ACO.

PLEASE TYPE OR PRINT

1.ACO	ADMINISTRATIVE CONSENT ORDER NUMBER:		
2. Facility Owner or Legally Authorized Representative	Facility Owner/Legally Authorized Representative Who Signed the ACO:		
	Address:		Address 2 or P.O. Box:
	City:	State:	Zip Code:
	Telephone:	Fax:	E-mail address:
3. Compliance Section	<p><i>Summarize each completed requirement in the Compliance Section of the ACO give the completion date. Please use additional sheets if necessary:</i></p>		



Michigan Department of Environmental Quality
Water Resources Division

ADMINISTRATIVE CONSENT ORDER TERMINATION REQUEST

3. Certification	<p>I, enter the name of owner or legally authorized representative, hereby certify that each requirement of the ACO that was entered into with the Department of Environmental Quality (DEQ) on enter the date has been complied with and completed including paying all money required by the ACO including but not limited to costs, civil fines, stipulated fines and fees. I also certify that all information that I am required to report to the DEQ, enter District Office District Office Supervisor has been reported and that all records I am required to maintain pursuant to the ACO are being maintained at the facility (or other location as specified in Section 12 of the ACO). I hereby request that the DEQ issue a Termination Notice, formally terminating the ACO in recognition of the resolution of the matters therein. I certify under penalty of law that this certification is true, accurate and complete. I am aware there are significant penalties for submitting false information, including the possibility of a fine for having knowledge of violations and certifying that there are none.</p> <p>Print Name _____ Title _____</p> <p>Signature _____ Date _____</p>
------------------	--

Please mail this completed form to the DEQ, Water Resources Division, District Office that is listed in Section III of the ACO the Owner/Legally Responsible Representative entered into with the DEQ. Addresses for the district offices are listed below.

Cadillac District Office
120 West Chapin Street
Cadillac, MI 49601-2158

Kalamazoo District Office
7953 Adobe Road
Kalamazoo, MI 49009-5025

Gaylord Field Office
2100 West M-32
Gaylord, MI 49735-9282

Lansing District Office
P.O. Box 30242
Lansing, MI 48909-7742

Grand Rapids District Office
350 Ottawa Avenue, NW, Unit 10
Grand Rapids, MI 49503-2316

Saginaw Bay District Office
401 Ketchum Street, Suite B
Bay City, MI 48708-5430

Jackson District Office
301 East Louis Glick Highway
Jackson, MI 49201-1556

Southeast Michigan District Office
27700 Donald Court
Warren, MI 48092-2793

Upper Peninsula District Office
1504 West Washington Street
Marquette, MI 49855



**ACME TOWNSHIP BOARD MEETING
ACME TOWNSHIP HALL
6042 Acme Road, Williamsburg MI 49690
Tuesday, April 7, 2015, 7:00 p.m.**

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE AT 7:00 p.m.

Zollinger commented on a recent article in the Record Eagle regarding Acme Township resident, Roy Challenger, and his work on the Yuba School.

Zollinger also stated that on the Grand Traverse Road commission website a link can be found to give residents an update on the road construction.

Members present: J. Aukerman, C. Dye, A. Jenema, G. LaPointe, P. Scott, D. White, J. Zollinger
Members excused: None
Staff present: J. Jocks, Legal Counsel
N. Edwardson, Recording Secretary

A. LIMITED PUBLIC COMMENT: None

B. APPROVAL OF AGENDA:

Motion by White, seconded by Aukerman, to approve the agenda as presented with the addition of Sayler Park presentation, Grand Traverse County Treasurer report, Fireworks request, M-72 /Lautner scheduling road work, DEQ sewer violation, VGT Spring erosion plans, VGT progression on ponds and SAD resolution. Motion carried by unanimous roll call vote.

C. INQUIRY AS TO CONFLICTS OF INTEREST: None

D. CONSENT CALENDAR: The purpose is to expedite business by grouping non-controversial items together for one Board motion (roll call vote) without discussion. A request to remove any item for discussion later in the agenda from any member of the Board, staff or public shall be granted.

1. RECEIVE AND FILE:

- a. Treasurer's Report**
- b. Clerk's Revenue/Expenditure Report and Balance Sheet**
- c. Draft Unapproved Meeting Minutes:**
 - 1. Planning Commission 03/09/15**
 - 2. Parks & Rec 01/22/15**
- d. Metro Fire 2014 Annual Report**
- e. Parks and Maintenance Report – Tom Henkel**

2. APPROVAL:

- 1. Township Board meeting minutes of 03/03/15**
- 2. Accounts Payable Prepaid of \$124,273.60 and Current to be approved of \$98,465.24 (Recommend approval: Cathy Dye, Clerk)**

E. ITEMS REMOVED FROM THE CONSENT CALENDAR:

Jenema asked that the Treasurer's report be removed to clarify to the Board unrestricted funds.

Motion by Jenema, seconded by White to approve the consent calendar with the removal of the Treasurer's report. Motion carried by unanimous roll call vote.

Motion by LaPointe, seconded by Dye to approve the Treasurer's report as presented. Motion carried by unanimous vote.

F. SPECIAL PRESENTATIONS/DISCUSSIONS:

Klaus Heinert, landscape architect/engineer from Gosling Czubak gave an overview on the engineering and construction plans for the Saylor Boat launch. Trustee, Aukerman gave a update on the two grants, MDNR and Oleson Foundation, that have been submitted.

G. REPORTS: Received and filed

1. **Sheriff's Report – Deputy: Ken Chubb**
2. **County Commissioner's Report - Crawford**
3. **Road commission report – McKellar**
4. **GTC Resource recovery – Kim Elliott**
5. **County Treasurer – Heidi Scheppe**
Scheppe presented a settlement history for Acme Township.

H. CORRESPONDENCE:

1. **News Release “Oak Wilt Prevention” Recommendations**

I. PUBLIC HEARING: None

J. NEW BUSINESS:

1. **Consumers Energy installations of upgraded meters**
Consumers Energy will be in our area in the next few weeks installing upgraded meters.

2. **Budget resolution to amend Budget multiple accounts**

Motion by LaPointe, seconded by White, to approve Resolution R # 2015-12 for various fund moves adjustments. Motion carried by unanimous roll call vote.

3. **Schedule 2015/16 Budget review**
The first scheduled meeting will be Tuesday, April 21, 2015, at 7:00 pm

4. **Annual Road Brine application contract with GTCRC**

Motion by LaPointe, seconded by White, to approve the agreement between Grand Traverse County Road commission and Acme Township for annual road brining cost of \$1,508.63. Motion carried by unanimous roll call vote.

5. **Zoning/Planning discussion on job ad for open position**
Jenema prepared a draft job description for a Zoning Administrator. Discussion followed. Jenema will prepare an ad and place in several different publications.

6. **Fireworks request**
The Traverse City Boom Boom Club in its 4th year of producing a 4th of July fireworks show over West Bay requesting a contribution in the \$200-\$250 range from Acme Township. The monies are used to pay for fireworks production, insurance, etc.

Motion by LaPointe, seconded by Aukerman, to approve contributing \$250.00 to the Traverse City Boom Boom Club. Motion carried by unanimous roll call vote.

7. **M-72 & Lautner Rd Construction Phasing**
The Board was given a chart of dates for the M-72 & Lautner Rd construction beginning April 20, 2015.

8. **SAD Resolution**

Motion by LaPointe, seconded by White to approve SAD Resolution R-2015-13, confirming Special Assessment Roll. Motion carried by unanimous roll call vote.

K. OLD BUSINESS:

1. **Freedom of Information 2014 changes – Jocks**

Jocks presented a summary of the Acme Township Freedom of Information Act procedures and Guidelines which need to be adopted by May or June. Discussion followed. Board was asked to direct any questions or concerns to Jock before the May meeting.

2. **Review of updated draft for Rules and Procedures**

Dye addressed the questions that were raised at the March meeting.

Motion by LaPointe, seconded by Aukerman to approve Resolution R-2015-14 adopting the Rules of Procedures for Acme Township. Motion carried by unanimous vote.

3. **Part 41 Sewer violation notice DEQ:**

Supervisor Zollinger provided an update that the Township had responded to the DEQ on the Violation Notice and requested an extension (DEQ suggested we request the extension) to provide final answers to the engineering questions the DEQ had asked us to answer. We just received an approval for that extension on 4/3/15 and have our engineers working to document our responses.

4. **VGT/GTTC Update**

Zollinger read into record a VGT/GTTC update prepared by John Iacoangeli of Beckett & Raeder concerning status of final basin engineering drawings and vegetation augmentation plans which is hoped to be ready for final approval the third week of April.

PUBLIC COMMENT & OTHER BUSINESS THAT MAY COME BEFORE THE BOARD:

C. Abernethy, 4312 Westridge Dr, asked if there would be a meeting to discuss the Stormwater plan for the VGT/GTTC site. Zollinger commented that we are not ready for a meeting.

Adjourned at 10:25 pm

Check Register Report

PREPAID

Date: 05/06/2015

Time: 4:18 pm

Page: 1

Acme Township

BANK: CHASE BANK

Check Number	Check Date	Status	Void/Stop Date	Vendor Number	Vendor Name	Check Description	Amount
CHASE BANK Checks							
23077	04/08/2015	Void	04/08/2015			VOID	0.00
23078	04/08/2015	Void	04/08/2015			VOID	0.00
23108	04/08/2015	Printed		000000300	ACE HARDWARE	SUPPLIES	236.04
23109	04/08/2015	Printed		0000002875	CHARTER COMMUNICATIONS	INTERNET/PHONE	325.70
23110	04/08/2015	Printed		0000003300	CONSUMERS ENERGY	STREET LIGHTS	519.93
23111	04/08/2015	Printed		0000000503	AMERICAN WASTE	GARBAGE	50.00
23113	04/08/2015	Printed		0000004460	DTE ENERGY	GAS	548.53
23114	04/16/2015	Printed		00002880	CHASE USA	SCANNER.TRAVEL.WOOD FOR PIC TA	2,256.55
23115	04/16/2015	Printed		0000007950	GRAND TRAVERSE METRO ESA	2014 APRIL TAX SETTLEMENT	25,719.98
23116	04/16/2015	Printed		4416	NEOFUNDS BY NEOPOST	POSTAGE	400.00
23117	04/16/2015	Printed		0000020450	SHELL OIL COMPANY	GAS	183.67
23118	05/01/2015	Void	05/01/2015			Void Check	0.00
23119	05/01/2015	Printed		0000002900	CHERRYLAND RURAL ELECTRIC	ELECTRIC	426.46
23120	05/01/2015	Printed		0000003300	CONSUMERS ENERGY	ELECTRIC	860.76
23121	05/01/2015	Printed		0000004460	DTE ENERGY	GAS	283.10
Total Checks: 15						Checks Total (excluding void checks):	31,810.72
Total Payments: 15						Bank Total (excluding void checks):	31,810.72

Check Register Report

Date: 05/06/2015

Time: 4:56 pm

Page: 2

Acme Township

BANK: SEWER CHASE AGENCY

Check Number	Check Date	Status	Void/Stop Date	Vendor Number	Vendor Name	Check Description	Amount
SEWER CHASE AGENCY Checks							
174	04/09/2015	Printed		0000007800	GRD TRAV COUNTY TREASURERS OFF	BOND#334WASTEWATER TREATMENT P	166,937.29
175	04/09/2015	Printed		0000007800	GRD TRAV COUNTY TREASURERS OFF	BOND#328WASTEWATER TREATMENT P	18,453.29
Total Checks: 2						Checks Total (excluding void checks):	185,390.58
Total Payments: 2						Bank Total (excluding void checks):	185,390.58

Total \$217,201.30

Edit List of Invoices - Detail w/GL

TO BE APPROVED

Date: 05/07/2015

Time: 10:35 am

Page 1

Acme Township

Ref. No.	Vendor Name	Post Date	PO Number	Bank Hold?	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Req. No.	Sep. Ck.?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	1099?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Inv. Date	Invoice No.	Hand Check Number/Date	Net Amount
	Email Address					
14351	A & D ASSESSING	05/12/2015		CHASE	MAY/ ASSESSING	2,500.00
	4949 BREEDS HILL TRL	05/12/2015		N		0.00
0000000520	WILLIAMSBURG	05/12/2015	0.00	N	N	0.00
	MI 49690	05/12/2015		Y	0	0.00
	<Emailing Stub Disabled>	05/12/2015	MAY			2,500.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-209-803.002	ASSESSING CONTRACT SERVICES	2,500.00	0.00
Distribution Total		2,500.00	0.00

Vendor Total: 2,500.00

Ref. No.	Vendor Name	Post Date	PO Number	Bank Hold?	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Req. No.	Sep. Ck.?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	1099?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Inv. Date	Invoice No.	Hand Check Number/Date	Net Amount
	Email Address					
14396	ACE HARDWARE	05/12/2015		CHASE	SUPPLIES	6.99
	734 WEST FRONT STREET	05/12/2015		N		0.00
0000000300	TRAVERSE CITY	05/12/2015	0.00	N	N	0.00
	MI 49684	05/12/2015		N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	85234			6.99

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-726.000	SUPPLIES & POSTAGE	6.99	0.00
Distribution Total		6.99	0.00

Vendor Total: 6.99

Ref. No.	Vendor Name	Post Date	PO Number	Bank Hold?	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Req. No.	Sep. Ck.?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	1099?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Inv. Date	Invoice No.	Hand Check Number/Date	Net Amount
	Email Address					
14379	ACME TOWNSHIP	05/12/2015		TRUST	CLOSE ESCROW IMMANUEL/BAT	9,505.16
	P O BOX 434	05/12/2015		N		0.00
0000000360	ACME	05/12/2015	0.00	N	N	0.00
	MI 49610	05/12/2015		N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				9,505.16

GL Number	Account Name	Pay Amount	Relieve Amount
701-400-282.141	AMENDMENT 141 IMMANUEL REZONIN	9,505.16	0.00
Distribution Total		9,505.16	0.00

Ref. No.	Vendor Name	Post Date	PO Number	Bank Hold?	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Req. No.	Sep. Ck.?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	1099?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Inv. Date	Invoice No.	Hand Check Number/Date	Net Amount
	Email Address					
14384	ACME TOWNSHIP	05/12/2015		TRUST	CLOSE ESCROW ACCOUNT	1,572.26
	P O BOX 434	05/12/2015		N		0.00
0000000360	ACME	05/12/2015	0.00	N	N	0.00
	MI 49610	05/12/2015		N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				1,572.26

GL Number	Account Name	Pay Amount	Relieve Amount
701-000-255.000	ESCROW DEPOSITS	1,572.26	0.00
Distribution Total		1,572.26	0.00

Ref. No.	Vendor Name	Post Date	PO Number	Bank Hold?	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Req. No.	Sep. Ck.?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	1099?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Inv. Date	Invoice No.	Hand Check Number/Date	Net Amount
	Email Address					
14386	ACME TOWNSHIP	05/12/2015		TRUST	EXPENSES PD FROM 101	3,909.51
	P O BOX 434	05/12/2015		N		0.00
0000000360	ACME	05/12/2015	0.00	N	N	0.00
	MI 49610	05/12/2015		N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				3,909.51

GL Number	Account Name	Pay Amount	Relieve Amount
701-000-214.000	DUE TO OTHER FUNDS	3,909.51	0.00
Distribution Total		3,909.51	0.00

Vendor Total: 14,986.93

Edit List of Invoices - Detail w/GL

TO BE APPROVED

Date: 05/07/2015

Time: 10:35 am

Page 2

Acme Township

Ref. No.	Vendor Name	Post Date	Bank	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Req. No.	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date	Invoice No.		
	AMERICAN WASTE	05/12/2015	CHASE	GARBAGE - MAY 2015	
	3923 US 131 NORTH	05/12/2015	N		50.00
14400	KALKASKA	05/12/2015	N	N	0.00
0000000503	MI 49646	05/12/2015	0.00	N	0
	<Emailing Stub Disabled>	05/12/2015	1092279		50.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-930.000	REPAIRS & MAINT	50.00	0.00
Distribution Total		50.00	0.00

Vendor Total: 50.00

	B S & A SOFTWARE	05/12/2015	CHASE	ANNUAL SVC T 5-1-15 TO 5-1-16	
	14965 ABBEY LANE	05/12/2015	N		1,271.00
14399	BATH	05/12/2015	N	N	0.00
0000002300	MI 48808	05/12/2015	0.00	N	0
	<Emailing Stub Disabled>	05/12/2015			1,271.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-209-804.000	SOFTWARE SUPPORT & PROCESSING	1,271.00	0.00
Distribution Total		1,271.00	0.00

Vendor Total: 1,271.00

	BAK SPECIALTY SALES	05/12/2015	CHASE	FLAG REPLACEMENT	
	7108 HAWLEY ROAD	05/12/2015	N		40.00
14348	WILLIAMSBURG	05/12/2015	N	N	0.00
0000000890	MI 49690	05/12/2015	0.00	N	0
	<Emailing Stub Disabled>	05/12/2015	200415		40.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-276-930.000	REPAIRS & MAINT	40.00	0.00
Distribution Total		40.00	0.00

Vendor Total: 40.00

	BALOG, CAROLYN	05/12/2015	CHASE	ELECTION 5-5-15	
	3910 ARLINGTON DR	05/12/2015	N		170.00
14416	WILLIAMSBURG	05/12/2015	N	N	0.00
Z-BALOG	MI 49690	05/12/2015	0.00	N	0
	<Emailing Stub Disabled>	05/12/2015			170.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	170.00	0.00
Distribution Total		170.00	0.00

Vendor Total: 170.00

	BASSETT CHRISTINE	05/12/2015	CHASE	ELECTION 5-5-15	
	9469 SHAW ROAD	05/12/2015	N		190.00
14422	WILLIAMSBURG	05/12/2015	N	N	0.00
0000000980	MI 49690	05/12/2015	0.00	N	0
	<Emailing Stub Disabled>	05/12/2015			190.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	190.00	0.00
Distribution Total		190.00	0.00

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Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Req. No.	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Disc. %	1099?	Hand Check Number/Date
	Email Address	Inv. Date	Invoice No.		Net Amount

Vendor Total: 190.00

14357	BECKETT & RAEDER	05/12/2015		TRUST	PROFESSIONAL SERVICES	
0000001660	535 WEST WILLIAM, SUITE 101	05/12/2015		N		1,470.00
	ANN ARBOR	05/12/2015		N	N	0.00
	MI 48103	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	2015-182			1,470.00

GL Number	Account Name	Pay Amount	Relieve Amount
701-400-282.073	TRAVERSE BAY RV RST 5555 M72	1,470.00	0.00
Distribution Total		1,470.00	0.00

14382	BECKETT & RAEDER	05/12/2015		CHASE	PROFESSIONAL SERVICES	
0000001660	535 WEST WILLIAM, SUITE 101	05/12/2015		N		1,290.00
	ANN ARBOR	05/12/2015		N	N	0.00
	MI 48103	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	2015-279.2015-283			1,290.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-410-803.001	PLANNING CONSULTANT	540.00	0.00
101-410-803.001	PLANNING CONSULTANT	750.00	0.00
Distribution Total		1,290.00	0.00

14403	BECKETT & RAEDER	05/12/2015		TRUST	PROFESSIONAL SERVICES	
0000001660	535 WEST WILLIAM, SUITE 101	05/12/2015		N		840.00
	ANN ARBOR	05/12/2015		N	N	0.00
	MI 48103	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	2015-179			840.00

GL Number	Account Name	Pay Amount	Relieve Amount
701-400-282.074	GRAND TRAVERSE RESORT	840.00	0.00
Distribution Total		840.00	0.00

Vendor Total: 3,600.00

14397	CHARTER COMMUNICATIONS	05/12/2015		CHASE	INTERNET/PHONE	
0000002875	PO BOX 3019	05/12/2015		N		326.04
	MILWAUKEE	05/12/2015		N	N	0.00
	WI 53201-3019	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				326.04

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-851.000	CABLE INTERNET SERVICES	326.04	0.00
Distribution Total		326.04	0.00

Vendor Total: 326.04

14370	CINTAS CORP #729	05/12/2015		CHASE	RUGS	
0000002990	P.O BOX 630910	05/12/2015		N		43.12
	CINCINNATI	05/12/2015		N	N	0.00
	OH 45263-0910	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	729723835			43.12

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-930.000	REPAIRS & MAINT	43.12	0.00
Distribution Total		43.12	0.00

Vendor Total: 43.12

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	City	Disc. Date	Disc. %	Sep. Ck.?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Inv. Date	1099?	Hand Check Number/Date	Net Amount
	Email Address		Invoice No.			
	CONDON, MARIBETH	05/07/2015		CHASE	ELECTION 5-5-15	
	2939 CEDARWOOD	05/12/2015		N		190.00
14419	TRAVERSE CITY	05/07/2015		N	N	0.00
CONDON	MI 49686	05/07/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/07/2015				190.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	190.00	0.00
Distribution Total		190.00	0.00

Vendor Total: 190.00

	CONSUMERS ENERGY	05/12/2015		CHASE	ELECTRIC	
		05/12/2015		N		547.69
14402	LANSING	05/12/2015		N	N	0.00
0000003300	MI 48937-0001	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				547.69

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-921.000	STREET LIGHTS	547.69	0.00
Distribution Total		547.69	0.00

Vendor Total: 547.69

	CULLIGAN WATER, MCCARDEL	05/12/2015		CHASE	WATER	
	40 HUGHES DRIVE	05/12/2015		N		29.75
14376	TRAVERSE CITY	05/12/2015		N	N	0.00
0000003400	MI 49686	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	8-6908			29.75

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-930.000	REPAIRS & MAINT	29.75	0.00
Distribution Total		29.75	0.00

Vendor Total: 29.75

	EASTWOOD CUSTOM HOMES	05/12/2015		TRUST	CLOSE ESCROW	
	848 US 31 HIGHWAY SOUTH	05/12/2015		N		511.00
14385	TRAVERSE CITY	05/12/2015		N	N	0.00
EASTWOOD	MI 49685	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				511.00

GL Number	Account Name	Pay Amount	Relieve Amount
701-400-282.210	EASTWOOD CUSTOM HOMES	511.00	0.00
Distribution Total		511.00	0.00

Vendor Total: 511.00

	ELECTION SYSTEMS & SOFTWARE	05/12/2015		CHASE	MAY 5 2015 ELECTION AUTOMAR	
	6055 PAYSHERE CIRCLE	05/12/2015		N		309.20
14362	CHICAGO	05/12/2015		N	N	0.00
0000004990	IL 60674	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	925442			309.20

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-726.000	SUPPLIES & POSTAGE	309.20	0.00
Distribution Total		309.20	0.00

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	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date	Invoice No.		

Vendor Total: 309.20

	FONDRIEST (EMP)	05/12/2015		CHASE	WATER TESTING TUNEUP & REP,	
	2091 EXCHANGE COURT	05/12/2015		N		642.99
14368	FAIRBORN	05/12/2015		N	N	0.00
0000006350	OH 45324	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	#44738			642.99

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	642.99	0.00
Distribution Total		642.99	0.00

Vendor Total: 642.99

	GINOP SALES	05/12/2015		CHASE	R.HAND SKIRT FOR TRACTOR	
	9040 M 72 EAST	05/12/2015		N		177.99
14350	WILLIAMSBURG	05/12/2015		N	N	0.00
0000007250	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	WP46832A			177.99

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	177.99	0.00
Distribution Total		177.99	0.00

	GINOP SALES	05/12/2015		CHASE	SERVICE ON MOWER, FILTER S	
	9040 M 72 EAST	05/12/2015		N		197.34
14354	WILLIAMSBURG	05/12/2015		N	N	0.00
0000007250	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	WP46832			197.34

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	197.34	0.00
Distribution Total		197.34	0.00

	GINOP SALES	05/12/2015		CHASE	PLUG-OIL-GEAR, WASHER	
	9040 M 72 EAST	05/12/2015		N		160.91
14367	WILLIAMSBURG	05/12/2015		N	N	0.00
0000007250	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	WP46863			160.91

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	3.50	0.00
101-750-930.000	REPAIRS & MAINT	157.41	0.00
Distribution Total		160.91	0.00

	GINOP SALES	05/12/2015		CHASE	FILTERS OIL SERV KUBOTA	
	9040 M 72 EAST	05/12/2015		N		231.47
14374	WILLIAMSBURG	05/12/2015		N	N	0.00
0000007250	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	WP467333			231.47

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	231.47	0.00
Distribution Total		231.47	0.00

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Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Req. No.	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date	Invoice No.		
14391	GINOP SALES	05/12/2015	CHASE	LEAF VAC BELT FOR MOWER	48.20
	9040 M 72 EAST	05/12/2015	N		
0000007250	WILLIAMSBURG	05/12/2015	N	N	0.00
	MI 49690	05/12/2015	0.00	0	0.00
	<Emailing Stub Disabled>	05/12/2015	WP47260		48.20

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	48.20	0.00
Distribution Total		48.20	0.00

Vendor Total: 815.91

14380	GOSLING CZUBAK ENGR	05/12/2015	CHASE	PROFESSIONAL FEES	
	1280 BUSINESS PARK DRIVE	05/12/2015	N		7,552.50
0000007675	TRAVERSE CITY	05/12/2015	N	N	0.00
	MI 49686	05/12/2015	0.00	0	0.00
	<Emailing Stub Disabled>	05/12/2015	72760,		7,552.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-803.003	ENGINEERING SERVICES	440.00	0.00
101-101-803.003	ENGINEERING SERVICES	6,962.50	0.00
101-410-803.000	PLANNER SERVICES	150.00	0.00
Distribution Total		7,552.50	0.00

14381	GOSLING CZUBAK ENGR	05/12/2015	SEWER	PROFESSIONAL FEES	
	1280 BUSINESS PARK DRIVE	05/12/2015	N		850.00
0000007675	TRAVERSE CITY	05/12/2015	N	N	0.00
	MI 49686	05/12/2015	0.00	0	0.00
	<Emailing Stub Disabled>	05/12/2015	72758		850.00

GL Number	Account Name	Pay Amount	Relieve Amount
590-000-803.003	ENGINEERING SERVICES	850.00	0.00
Distribution Total		850.00	0.00

Vendor Total: 8,402.50

14363	GOVERNMENTAL BUSINESS SYS	05/12/2015	CHASE	ELECTION SUPPLIES	
	4995 VARSITY DR. UNIT C	05/12/2015	N		33.25
0000007720	LISLE	05/12/2015	N	N	0.00
	IL 60532	05/12/2015	0.00	0	0.00
	<Emailing Stub Disabled>	05/12/2015	15-22071		33.25

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-726.000	SUPPLIES & POSTAGE	33.25	0.00
Distribution Total		33.25	0.00

Vendor Total: 33.25

14352	GRAND TRAVERSE COUNTY	05/12/2015	SEWER	ACME SEWER/ACME WATER HOI	
	FINANCE DEPT. ACCTS RECEIVA	05/12/2015	N		6,020.74
7890	TRAVERSE CITY	05/12/2015	N	N	0.00
	MI 49684	05/12/2015	0.00	0	0.00
	<Emailing Stub Disabled>	05/12/2015			6,020.74

GL Number	Account Name	Pay Amount	Relieve Amount
590-000-956.001	OPERATING & MAINT EXP	5,740.09	0.00
590-550-956.001	OPERATING & MAINT EXP	232.87	0.00
590-000-956.003	HOCH ROAD #697 EXP	47.78	0.00

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	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date	Invoice No.		

Distribution Total					6,020.74	0.00
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14364	GRAND TRAVERSE COUNTY	05/12/2015		CHASE	PUBLICATION EQUALIZATION	
	FINANCE DEPT. ACCTS RECEIVA	05/12/2015		N		41.88
7890	TRAVERSE CITY	05/12/2015		N	N	0.00
	MI 49684	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	89969			41.88

GL Number	Account Name	Pay Amount	Relieve Amount
101-209-900.000	PUBLICATIONS	41.88	0.00
Distribution Total		41.88	0.00

Vendor Total: 6,062.62

14361	GRAND TRAVERSE METRO ESA	05/12/2015		CHASE	PT EMS STAFFING FOR MARCH 2	
	897 PARSONS ROAD	05/12/2015		N		6,582.75
0000007950	TRAVERSE CITY	05/12/2015		N	N	0.00
	MI 49686	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	761			6,582.75

GL Number	Account Name	Pay Amount	Relieve Amount
206-000-802.004	CONTRACTED EMPLOYEE SERVICES	6,582.75	0.00
Distribution Total		6,582.75	0.00

Vendor Total: 6,582.75

14347	GREATAMERICA FINANCIAL SVC	05/12/2015		CHASE	COMPUTERS	
	P.O. BOX 660831	05/12/2015		N		311.65
GREAT	DALLAS	05/12/2015		N	N	0.00
	TX 75266-0831	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	16852849			311.65

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-804.000	SOFTWARE SUPPORT & PROCESSING	311.65	0.00
Distribution Total		311.65	0.00

Vendor Total: 311.65

14420	HAASE, DEBORAH E.	05/12/2015		CHASE	ELECTION 5-5-15	
	9544 PENINSULA DR.	05/12/2015		N		32.50
0000008210	TRAVERSE CITY	05/12/2015		N	N	0.00
	MI 49686	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				32.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	32.50	0.00
Distribution Total		32.50	0.00

Vendor Total: 32.50

14358	INTEGRITY BUSINESS SOLUTION	05/12/2015		CHASE	OFFICE SUPPLIES	
	1302 INDUSTRY B	05/12/2015		N		81.61
0000010300	TRAVERSE CITY	05/12/2015		N	N	0.00
	MI 49696	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	1198795-0			81.61

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-726.000	SUPPLIES & POSTAGE	81.61	0.00

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	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date	Invoice No.		

Distribution Total					81.61	0.00
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14383	INTEGRITY BUSINESS SOLUTION	05/12/2015	CHASE	SUPPLIES		
	1302 INDUSTRY B	05/12/2015	N			93.94
0000010300	TRVERSE CITY	05/12/2015	N	N		0.00
	MI 49696	05/12/2015	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015		1205077.0		93.94

GL Number	Account Name	Pay Amount	Relieve Amount
101-253-726.000	SUPPLIES & POSTAGE	60.95	0.00
101-215-726.000	SUPPLIES & POSTAGE	32.99	0.00
Distribution Total		93.94	0.00

Vendor Total: 175.55

14421	JONES THOMAS	05/12/2015	CHASE	ELECTION 5-5-15		
	3250 MOONSTONE LANE	05/12/2015	N			90.00
0000010467	TRVERSE CITY	05/12/2015	N	N		0.00
	MI 49686	05/12/2015	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015				90.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	90.00	0.00
Distribution Total		90.00	0.00

Vendor Total: 90.00

14405	KIPLEY A JILL	05/12/2015	CHASE	ELECTION		
	4085 CIRCLE VIEW DR	05/12/2015	N			187.50
0000011700	WILLIAMSBURG	05/12/2015	N	N		0.00
	MI 49690	05/12/2015	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015				187.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	187.50	0.00
Distribution Total		187.50	0.00

Vendor Total: 187.50

14377	KOPY SALES INC.	05/12/2015	CHASE	COPY MACHINE		
	821 ROBINWOOD COURT	05/12/2015	N			151.91
0000011800	TRVERSE CITY	05/12/2015	N	N		0.00
	MI 49686	05/12/2015	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015		95464,95463		151.91

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-930.000	REPAIRS & MAINT	151.91	0.00
Distribution Total		151.91	0.00

14395	KOPY SALES INC.	05/12/2015	CHASE	COPY MACHINGE		
	821 ROBINWOOD COURT	05/12/2015	N			186.80
0000011800	TRVERSE CITY	05/12/2015	N	N		0.00
	MI 49686	05/12/2015	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015		,95813,95814		186.80

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-930.000	REPAIRS & MAINT	112.34	0.00
101-265-930.000	REPAIRS & MAINT	74.46	0.00
Distribution Total		186.80	0.00

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	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date	Discount
	Email Address	Inv. Date	Invoice No.		Net Amount

Vendor Total: 338.71

14418	MAASBERG SUSAN	05/12/2015		CHASE	ELECTION 5-5-15	
	3800 BAY VALLEY DR	05/12/2015		N		35.00
0000012770	WILLIAMSBURG	05/12/2015		N	N	0.00
	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				35.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	35.00	0.00
Distribution Total		35.00	0.00

Vendor Total: 35.00

14375	MICHIGAN OFFICEWAYS	05/12/2015		CHASE	POSTAGE METER INK CARTRIDG	
	135 M-66 HWY NORTH	05/12/2015		N		182.50
0000014056	CHARLEVOIX	05/12/2015		N	N	0.00
	MI 49720	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	0177943-001			182.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-726.000	SUPPLIES & POSTAGE	182.50	0.00
Distribution Total		182.50	0.00

Vendor Total: 182.50

14378	MICHIGAN RECREATION & PARK	05/12/2015		CHASE	CLASS	
	2465 WOODLAKE CIRCLE, STE 18	05/12/2015		N		20.00
0000014060	OKEMOS	05/12/2015		N	N	0.00
	MI 48864	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	TOM HENKEL			20.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	20.00	0.00
Distribution Total		20.00	0.00

Vendor Total: 20.00

14404	MICHIGAN TOWNSHIPS ASSOCIA	05/12/2015		CHASE	AD FOR ZONING & PLANNING	
	P O BOX 80078	05/12/2015		N		109.00
0000014100	LANSING	05/12/2015		N	N	0.00
	MI 48908-0078	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	195530			109.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-410-900.000	PUBLICATIONS	109.00	0.00
Distribution Total		109.00	0.00

Vendor Total: 109.00

14411	MINICK H. KATHERINE	05/12/2015		CHASE	ELECTION 5-5-15	
	6056 HOLT RD #2	05/12/2015		N		90.00
0000014150	WILLIAMSBURG	05/12/2015		N	N	0.00
	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				90.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	90.00	0.00

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Ref. No.	Vendor Name	Post Date	Bank	Invoice Description Line 2		
Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2		Gross Amount
	City	Disc. Date	Req. No.	Use Description 1 On Check		Taxes Withheld
	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date		Discount
	Email Address	Inv. Date	Invoice No.			Net Amount

Distribution Total						90.00	0.00
						Vendor Total:	90.00

14338	NEOFUNDS BY NEOPOST	04/16/2015		CHASE	POSTAGE		
	P.O. BOX 30193	04/16/2015		N			0.00
4416	TAMPA	04/16/2015		N	N		0.00
	FL 33630-3193	04/16/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	04/16/2015					0.00

GL Number	Account Name	Pay Amount	Relieve Amount
--		0.00	0.00
Distribution Total		0.00	0.00
		Vendor Total:	0.00

14349	NORTHERN MICHIGAN JANITORI	05/12/2015		CHASE	CAN LINERS		
	726 HASTINGS	05/12/2015		N			49.00
0000015070	TRAVERSE CITY	05/12/2015		N	N		0.00
	MI 49686	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015					49.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-726.000	SUPPLIES & POSTAGE	49.00	0.00
Distribution Total		49.00	0.00

14392	NORTHERN MICHIGAN JANITORI	05/12/2015		CHASE	CAN LINERS		
	726 HASTINGS	05/12/2015		N			49.90
0000015070	TRAVERSE CITY	05/12/2015		N	N		0.00
	MI 49686	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015	18638				49.90

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-726.000	SUPPLIES & POSTAGE	49.90	0.00
Distribution Total		49.90	0.00

Vendor Total: 98.90

14359	OLSON,BZDOK&HOWARD,P.C	05/12/2015		CHASE	ATTORNEY		
	420 EAST FRONT ST.	05/12/2015		N			3,610.00
0000016245	TRAVERSE CITY	05/12/2015		N	N		0.00
	MI 49686	05/12/2015	0.00	Y	0		0.00
	<Emailing Stub Disabled>	05/12/2015					3,610.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-802.002	ATTORNEY SERVICES	1,235.00	0.00
101-410-802.002	ATTORNEY SERVICES	1,515.00	0.00
101-410-802.002	ATTORNEY SERVICES	210.00	0.00
101-209-803.004	ASSESSOR'S EVALUATION SERVICES	90.00	0.00
101-101-802.002	ATTORNEY SERVICES	560.00	0.00
Distribution Total		3,610.00	0.00

14360	OLSON,BZDOK&HOWARD,P.C	05/12/2015		FARM	ATTORNEY		
	420 EAST FRONT ST.	05/12/2015		N			75.00
0000016245	TRAVERSE CITY	05/12/2015		N	N		0.00
	MI 49686	05/12/2015	0.00	Y	0		0.00
	<Emailing Stub Disabled>	05/12/2015	INV# 5385-71#				75.00

GL Number	Account Name	Pay Amount	Relieve Amount
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Vendor No.	Vendor Address	Pay. Date	Req. No.	Hold?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	Sep. Ck.?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Invoice No.	1099?	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date				

225-000-802.002	ATTORNEY SERVICES					75.00	0.00
Distribution Total						75.00	0.00

Vendor Total: 3,685.00

14408	PEIFFER, JOYCE	05/12/2015		CHASE	ELECTION 5-5-15		
	7960 WINDALE DR	05/12/2015		N			187.50
PIEFFER	WILLIAMSBURG	05/12/2015		N	N		0.00
	MI 49690	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015					187.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	187.50	0.00
Distribution Total		187.50	0.00

Vendor Total: 187.50

14409	PEIFFER, PATRICK	05/12/2015		CHASE	ELECTION 5-5-15		
	7960 WINDALE DR	05/12/2015		N			12.50
PIEFFER	WILLIAMSBURG	05/12/2015		N	N		0.00
	MI 49690	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015					12.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	12.50	0.00
Distribution Total		12.50	0.00

Vendor Total: 12.50

14413	PELTONEN, DENISE	05/12/2015		CHASE	ELECTION 5-5-15		
	10610 ELK LAKE RD	05/12/2015		N			170.00
PELTONEN	WILLIAMSBURG	05/12/2015		N	N		0.00
	MI 49690	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015					170.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	170.00	0.00
Distribution Total		170.00	0.00

Vendor Total: 170.00

14390	PLANNING AND ZONING CENTER	05/12/2015		CHASE	AD FOR PLANNING & ZONING NE		
	715 N CEDAR ST	05/12/2015		N			95.00
0000017400	LANSING	05/12/2015		N	N		0.00
	MI 48906-5275	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015	41515				95.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-410-900.000	PUBLICATIONS	95.00	0.00
Distribution Total		95.00	0.00

Vendor Total: 95.00

14417	RANSOM DAVID	05/12/2015		CHASE	ELECTION 5-5-15		
	4347 PAPER BIRCH LN.	05/12/2015		N			160.00
0000019250	TRAVERSE CITY	05/12/2015		N	N		0.00
	MI 49686	05/12/2015	0.00	N	0		0.00
	<Emailing Stub Disabled>	05/12/2015					160.00

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Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2	Gross Amount	
	City	Disc. Date	Req. No.	Use Description 1 On Check	Taxes Withheld	
	State/Province Zip/Postal	Due Date	Disc. %	1099?	Hand Check Number/Date	Discount
	Email Address	Inv. Date	Invoice No.			Net Amount

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	160.00	0.00
Distribution Total		160.00	0.00

Vendor Total: 160.00

14407	RYAN, MARY	05/12/2015		CHASE	ELECTION 5-515	
	3806 BUNKER HILL ROAD	05/12/2015		N		210.00
0000020100	WILLIAMSBURG	05/12/2015		N	N	0.00
	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				210.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	210.00	0.00
Distribution Total		210.00	0.00

Vendor Total: 210.00

14414	SCHARF PATRICIA	05/12/2015		CHASE	ELECTION 5-5-15	
	4252 N 5 MILE	05/12/2015		N		170.00
0000020420	WILLIAMSBURG	05/12/2015		N	N	0.00
	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				170.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	170.00	0.00
Distribution Total		170.00	0.00

Vendor Total: 170.00

14410	SCHLEGEL SONIA	05/12/2015		CHASE	ELECTION 5-5-15	
	4449 S. MANORWOOD	05/12/2015		N		125.00
0000020870	TRAVERSE CITY	05/12/2015		N	N	0.00
	MI 49685	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				125.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	125.00	0.00
Distribution Total		125.00	0.00

Vendor Total: 125.00

14406	SLACK, JULIA	05/12/2015		CHASE	ELECTION 5-5-15	
	8839 US 31 NORTH	05/12/2015		N		202.50
0000020700	WILLIAMSBURG	05/12/2015		N	N	0.00
	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				202.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	202.50	0.00
Distribution Total		202.50	0.00

Vendor Total: 202.50

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Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2		Gross Amount
	City	Disc. Date	Req. No.	Use Description 1 On Check		Taxes Withheld
	State/Province Zip/Postal	Due Date	Disc. %	Hand Check Number/Date		Discount
	Email Address	Inv. Date	Invoice No.			Net Amount
	THE BOOM BOOM CLUB	05/12/2015	CHASE	FIREWORKS		
	P.O. BOX 4033	05/12/2015	N			250.00
14356	TRAVERSE CITY	05/12/2015	N	N		0.00
THE	MI 49685	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	36			250.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-000-997.300	FOURTH OF JULY FIREWORKS	250.00	0.00
Distribution Total		250.00	0.00

Vendor Total: 250.00

	THIRLBY AUTOMOTIVE	05/12/2015	CHASE	RAPID FLSH		
	231 EAST EIGHTH STREET	05/12/2015	N			2.99
14366	TRAVERSE CITY	05/12/2015	N	N		0.00
0000021700	MI 49684	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	322845			2.99

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	2.99	0.00
Distribution Total		2.99	0.00

	THIRLBY AUTOMOTIVE	05/12/2015	CHASE	PARTS		
	231 EAST EIGHTH STREET	05/12/2015	N			34.11
14393	TRAVERSE CITY	05/12/2015	N	N		0.00
0000021700	MI 49684	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	345588,340236			34.11

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	34.11	0.00
Distribution Total		34.11	0.00

Vendor Total: 37.10

	TRAVERSE CITY RECORD EAGLE	05/12/2015	TRUST	PUBLICATIONS		
	120 W.FRONT STREET	05/12/2015	N			118.50
14372	TRAVERSE CITY	05/12/2015	N	N		0.00
0000022000	MI 49684	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	397003,			118.50

GL Number	Account Name	Pay Amount	Relieve Amount
701-400-282.073	TRAVERSE BAY RV RST 5555 M72	118.50	0.00
Distribution Total		118.50	0.00

	TRAVERSE CITY RECORD EAGLE	05/12/2015	CHASE	PUBLICATIONS		
	120 W.FRONT STREET	05/12/2015	N			73.50
14373	TRAVERSE CITY	05/12/2015	N	N		0.00
0000022000	MI 49684	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	395121			73.50

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-900.000	PUBLICATIONS	73.50	0.00
Distribution Total		73.50	0.00

	TRAVERSE CITY RECORD EAGLE	05/12/2015	CHASE	PUBLICATIONS		
	120 W.FRONT STREET	05/12/2015	N			626.25
14394	TRAVERSE CITY	05/12/2015	N	N		0.00
0000022000	MI 49684	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				626.25

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Vendor No.	Vendor Address	Pay. Date	Hold?	Invoice Description Line 2	Gross Amount
	City	Disc. Date	Sep. Ck.?	Use Description 1 On Check	Taxes Withheld
	State/Province Zip/Postal	Due Date	1099?	Hand Check Number/Date	Discount
	Email Address	Inv. Date	Invoice No.		Net Amount

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-900.000	PUBLICATIONS	95.25	0.00
101-191-900.000	PUBLICATIONS	73.50	0.00
101-410-900.000	PUBLICATIONS	457.50	0.00
Distribution Total		626.25	0.00

Vendor Total: 818.25

	TRI-GAS DISTRIBUTING CO	05/12/2015		CHASE	PROPANE FILL UP FOR SHOP	
	1660 BARLOW STREET	05/12/2015		N		316.24
14365	TRAVERSE CITY	05/12/2015		N	N	0.00
0000022050	MI 49686	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				316.24

GL Number	Account Name	Pay Amount	Relieve Amount
101-750-930.000	REPAIRS & MAINT	316.24	0.00
Distribution Total		316.24	0.00

Vendor Total: 316.24

	WASTE MANAGEMENT	05/12/2015		CHASE	GARBAGE- APRIL 2015	
	PO BOX 4648	05/12/2015		N		199.28
14398	CAROL STREAM	05/12/2015		N	N	0.00
0000025000	IL 60197-4648	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	7383665-1838-4			199.28

GL Number	Account Name	Pay Amount	Relieve Amount
101-265-930.000	REPAIRS & MAINT	199.28	0.00
Distribution Total		199.28	0.00

Vendor Total: 199.28

	WHITEWATER TOWNSHIP	05/12/2015		CHASE	MILEAGE REIMBURSEMENT	
	P.O. BOX 159	05/12/2015		N		71.30
14371	WILLIAMSBURG	05/12/2015		N	N	0.00
WHITE	MI 49690	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				71.30

GL Number	Account Name	Pay Amount	Relieve Amount
101-215-860.000	TRAVEL & MILEAGE	71.30	0.00
Distribution Total		71.30	0.00

Vendor Total: 71.30

	WILLIAMS, CHERYL	05/12/2015		CHASE		
	4438 S. MANORWOOD DR	05/12/2015		N		90.00
14412	TRAVERSE CITY	05/12/2015		N	N	0.00
WILLIAMS	MI 49685	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015				90.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-191-702.000	SALARIES	90.00	0.00
Distribution Total		90.00	0.00

Vendor Total: 90.00

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Vendor No.	Vendor Address	Pay. Date	Req. No.	Hold?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	Sep. Ck.?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Invoice No.	1099?	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date				
	WYANT COMPUTER SERVICES	05/12/2015		CHASE	COMPUTERS- APRIL	
	415 MUNSON AVE	05/12/2015		N		1,089.00
14369	TRAVERSE CITY	05/12/2015		N	N	0.00
WYANT	MI 49686	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	MS17199			1,089.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-804.000	SOFTWARE SUPPORT & PROCESSING	1,089.00	0.00
Distribution Total		1,089.00	0.00

Ref. No.	Vendor Name	Post Date	PO Number	Bank	Invoice Description Line 2	Gross Amount
Vendor No.	Vendor Address	Pay. Date	Req. No.	Hold?	Invoice Description Line 2	Taxes Withheld
	City	Disc. Date	Disc. %	Sep. Ck.?	Use Description 1 On Check	Discount
	State/Province Zip/Postal	Due Date	Invoice No.	1099?	Hand Check Number/Date	Net Amount
	Email Address	Inv. Date				
	WYANT COMPUTER SERVICES	05/12/2015		CHASE	COMPUTER-MAY	
	415 MUNSON AVE	05/12/2015		N		1,089.00
14401	TRAVERSE CITY	05/12/2015		N	N	0.00
WYANT	MI 49686	05/12/2015	0.00	N	0	0.00
	<Emailing Stub Disabled>	05/12/2015	MS17394			1,089.00

GL Number	Account Name	Pay Amount	Relieve Amount
101-101-804.000	SOFTWARE SUPPORT & PROCESSING	1,089.00	0.00
Distribution Total		1,089.00	0.00

Vendor Total: 2,178.00

Grand Total: 57,960.72

Less Credit Memos: 0.00

Net Total: 57,960.72

Less Hand Check Total: 0.00

Outstanding Invoice Total: 57,960.72

Total Invoices: 71

Grand Traverse Sheriff Department Calls for Service Statistics

Month Year
April 2015

Day of Week	Mon	Tues	Weds	Thurs	Fri	Sat	Sun	TOTAL				
	467	461	682	629	491	468	420	3,618				
Hour of Day	0	1	2	3	4	5	6	7	8	9	10	11
	130	80	81	26	43	54	58	123	146	154	122	145
Location	12	13	14	15	16	17	18	19	20	21	22	23
	184	165	181	242	232	215	230	171	162	234	278	162
Location	Citations	Traffic Crashes			Arrests			*Other	Criminal	Non-Criminal	Traffic Crashes	Total
		Fatal	PIA	PDA	OWI	MIP	Criminal					
01 Acme	14	0	1	2	1	0	6	138	17	22	3	180
02 Blair	39	0	2	16	0	2	38	268	85	85	18	456
03 East Bay	71	0	1	30	3	1	24	300	74	79	31	484
04 Fife Lake	14	0	1	4	1	0	4	73	5	7	5	90
05 Garfield	133	0	3	76	12	3	87	823	330	299	79	1,531
06 Grant	1	1	0	1	0	0	3	17	7	3	2	29
07 Green Lake	18	0	0	3	0	0	8	159	36	42	3	240
08 Long Lake	8	0	1	8	1	0	5	81	36	28	9	154
09 Mayfield	5	0	0	10	1	0	3	38	8	2	10	58
10 Peninsula	5	0	0	1	1	0	1	51	18	22	1	92
11 Paradise	5	0	1	1	0	0	5	60	12	15	2	89
12 Union	2	0	0	1	0	0	1	6	0	4	1	11
13 Whitewater	7	0	1	5	0	0	0	44	8	23	6	81
29 Fife Lake Vlg	0	0	1	0	0	0	0	11	10	7	1	29
30 Kingsley Vlg	8	0	0	1	1	0	5	58	9	26	1	94
66 Traverse City	6	0	0	0	0	0	65	0	0	0	0	0
84 Out of County	0	0	0	0	1	0	37	0	0	0	0	0
Totals	336	1	12	159	22	6	292	2,127	655	664	172	3,618

*Other Calls for Service Include: 911 Hangups; BOL; Follow-up to Complaints; Motorist Assists; Public Relations; Serving Legal papers; Traffic Stops; Warrant Attempts

Ticket stats are based on what District Court has entered as of 5/04/15.

Arrest Stats are as of 5/04/15.



Administrator/Controller Report April 2015

Strategic Goals

1. Maintain financial strength and stability
2. Strengthen and expand the County's use of technology
3. Address infrastructure needs
4. Continue community engagement and access to information
5. Ensure that County is viewed as a fair and equitable employer
6. Expand the capabilities of the Board of Commissioners
7. Advance the health and quality of life of the region
8. Protect and preserve County's water resources, forests, natural areas and scenic beauty

Administration (1)

- The Website Committee is in the redesign process and is looking for new photos for the new county web site. Anyone interested in contributing their non-copyrighted photos may upload photo files on the Submit Your Photo link on www.grandtraverse.org or may email photos to admin@grandtraverse.org.

Boardman River Dams Project (8)

- The Road Commission voted on April 9 to amend the Cass Road Right of Way Agreement, in which it has agreed to pay for the local match and construction engineering for the project. The county is still responsible for making sure that the old bridge is removed and that Cass Road connects to the new bridge.
- The Army Corps of Engineers (USACE) is awaiting final approval of the Detailed Project Review/Environmental Assessment (DPR/EA) documents from the Regional Division office. Upon receipt of such approval, the signed Finding of No Significant Impact (FONSI) will be released to the public. The USACE is also continuing to work on the Integral Determination Report (IDR) in regard to in-kind services and match funding for the design phase, and USACE will be participating in the upcoming 30% design review for the Boardman Dam Removal.

USACE has indicated that Federal GLRI funds are essentially locked in for project implementation. It has a commitment from the EPA to this project and plan to use a combination of Great Lakes Restoration Initiative (GLRI) Year 6 and Year 7 funds to complete the Boardman project. The Corps will be receiving about half of the overall funds this summer (i.e. the "GLRI Year 6 funds") and will hold them for use until the balance is received the following summer (i.e. GLRI "Year 7" funds). This will position the Corps to award a construction contract in late summer 2016. The Corps obviously cannot "guarantee" the availability of future funds given the uncertainties with the Federal appropriations process, but unless the GLRI is eliminated or drastically under-appropriated next year, Federal funds for this project should be dedicated.

Commission on Aging (7)

- National Volunteer Week April 12-18, 2015 is designated as National Volunteer Week. The Commission on Aging would like to recognize all our wonderful volunteers and thank them for the many hours of service they donate to our organization each year.

In 2014, 178 volunteers donated 12,168 hours of service to the Commission on Aging. Valued at \$22.14 per hour, volunteer efforts allowed the GTCOA to realize a savings of \$269,400.

A resolution recognizing all our volunteers and National Volunteer Week will be presented at the County Board of Commissioners RM&A meeting April 8, 2015.

- Home Heating Donation The Commission on Aging was the recipient of a \$3,432 donation from the Traverse Bay United Methodist Church to help older adults with home heating costs. These funds will allow the GTCOA to assist an additional seven low income older adults in 2015. At a time when most other resources are depleted, more seniors contact us for help, so we are very appreciative of the Traverse Bay UMC donation.

Health Department & Emergency Management (7)

ADMINISTRATION & FINANCE DIVISION

- Received notification from the State we could receive supplemental funding for Ebola preparedness up to \$16,850. At this time, this funding is tentative. This funding would be for an 18-month period from April 1, 2015 to September 30, 2016.
- The Essential Local Public Health Service grants were cut by approximately 3.75% for a total of \$15,111. This cut rolls back the increase in the Essential Local Public Health Service grants to the same amounts as 2014 fiscal year grants.
- Completed a Medicaid Outreach program site review with no concerns from the reviewers.
- Preparing for upcoming accreditation and review.
- Finalizing 2014 annual report.
- Water Safety Network- held our first spring meeting to prioritize goals

MEDICAL EXAMINER DIVISION

- Continuing research and discussion with stakeholders on forensic autopsy service providers.
- Working to coordinate a three-county child death review group with Benzie, Grand Traverse and Leelanau Counties.

ENVIRONMENTAL HEALTH & ANIMAL CONTROL DIVISION

- Municipal and Private Water Line Freeze Ups- As a result of prolonged cold weather and lack of substantial snow cover this past winter, the environmental health staff was busy fielding calls from Grand Traverse County residents and municipalities regarding water lines freezing. We worked closely with the City of Traverse City Officials throughout the month of March in monitoring increased water flows into the Traverse City Regional Sewage Treatment Facility as a result of requests to “let runs” for those areas which were prone to previous water line freeze ups. Concerns related to the possibility of releasing partially treated sewage to the Boardman River due to the increased flow of water into the sewage plant have eased over the past few weeks with warmer temperatures returning.

- On-site Sewage Disposal System Freeze Ups- In addition to the issues regarding water line freeze ups this past winter, our staff received numerous calls from Grand Traverse County residents and business owners regarding septic system freeze ups. We are looking forward to warmer temperatures and spring rains to help remove the frost from the ground.
- Beach Monitoring Stakeholders Meeting- The Beach Monitoring Stakeholders group met in February and again in late March to discuss the 2015 beach monitoring plans for public beaches on East and West Grand Traverse Bays as well as Lake Michigan. A total of 12 public beaches in Grand Traverse, Leelanau and Benzie Counties will be monitored for E.coli bacteria starting June 24, 2015 and ending on September 2, 2015. In addition, nine (9) inland lakes in the three (3) county area will be monitored as a result of special grant from the Michigan Department of Environmental Quality (MDEQ).
- Rabies Animal Bite Document- We have been updating our Animal Bite document over the past month. Animal bites are reportable to local health departments so follow up can be done to assure the prevention of human rabies. The Grand Traverse County Health Department works with area physicians, in particular Munson Medical Center and the Urgent Care/Walk-in clinics to assure a thorough understanding of Michigan Department of Community Health (MDCH) Rabies Protocol and accurate and timely reporting of animal bites.

EMERGENCY MANAGEMENT & PREPAREDNESS DIVISION

- Emergency Management - March was busy working with Traverse City leaders with frozen pipe emergency. 17 local elected officials attended a Local Officials Emergency Management workshop. Final planning stages of a large, FEMA sponsored exercise April 21-24. All phases of public safety and emergency services in Grand Traverse County and some surrounding jurisdictions will take part in this exercise.
- Emergency Preparedness - Appointed to the National Association of County and City Health Officials Workgroup on Medical Counter Measure Distribution. Fit tested Grand Traverse County Health Department emergency response and communicable disease staff with N95 Particulate Filtering Respirators. Participated in Michigan Department of Community Health Office of Public Health Preparedness MISNS Request SharePoint Functional Exercise on March 12th. Exercised Grand Traverse County Health Department's ability to request state and federal assets during emergency response operations. Completed and submitted the BP3 Gap Analysis Tool to the Office of Public Health Preparedness as a requirement through the Centers for Disease Control.

COMMUNITY HEALTH DIVISION

DISEASE CONTROL AND PREVENTION PROGRAMS:

- Communicable Disease Program- GTCHD provided a three page health care provider guidance for measles due to the current measles outbreak in the United States. We have been asked to speak at the Annual Michigan Department of Community Health Communicable Disease Conference in May about the November 2014 pertussis and measles outbreaks in GT County. We continue to work with Munson on Ebola preparedness.

MATERNAL AND CHILD HEALTH PROGRAMS:

- Maternal Infant Health Program- After 4 months of decreased maternal and infant visits, GTCHD is seeing an increase in visits as our staffing model returns to stability following

the Pertussis Outbreak and orientation for new nurses. Supervisor and Director attended Coordinator Training in Holland, Michigan. Implemented new infant screener per program requirements.

- Immunizations- Participated in a successful Rural Health Fair in Grawn. Due to a long and late flu season, we are continuing to see clients walk-in for flu vaccinations. The Regional Immunization Task Force met in March; areas of focus are advocacy, education, and media campaign.

Human Resources (5)

- Currently recruiting for 16 positions County-wide with a total 33 requisitions posted County-wide for the year.
- We are saddened to have our HR Director, Jen Seman, leave the County for a new job. We wish her well and thank her for her great work here in the County for the 5 years and 3 months that she was here. We can only hope our next HR Director connects as well with the employees and staff as Jen did!
- Wellness Presents “Lunch and Learn” with Kathy Engstrom Jones on Allergy Treatments, Pneumonia Shots, and Diabetes information on April 7th.
- The Employee Recognition Team is seeking nominations for Volunteer of the Year. The team is seeking nominations by April 6th. Please nominate your co-worker before the deadline!
- ❖ Thank you to Sally Dreves for keeping the Human Resources office working smoothly while seeking a new HR Director.

MSUE (7, 8)

- Educators invited to serve on national team: Two of our educators housed in the Grand Traverse office working in the MSUE Health and Nutrition Institute were recently honored with the invitation to join national teams, led by the Extension and Experiment Station committees on organization and policy. These committees act as the representative leadership and governing body of Cooperative Extension, and they provide guidance to issues affecting it. Linda Cronk has been invited to serve on the national Health Literacy Action Team, and Sarah Eichberger has been invited to serve on the Health Policy Issues Education Action Team.
- Smarter Lunchrooms: Five Grand Traverse County area schools are currently participating in the Smarter Lunchrooms Movement pilot. This pilot is a part of a Team Nutrition Training Grant that partners with the Michigan Department of Education and Michigan State University Extension. This award, funded by the USDA, will support participating schools in Michigan with funds of \$350 to work with a designated MSUE Educator to apply evidence-based tools to guide healthier food choices in the lunchroom and ultimately improve the health of children. Each school agrees to implement at least 10 Smarter Lunchroom changes from the Smarter Lunchroom Scorecard. The \$350 will go toward signage and other allowable costs that assist in creating a Smarter Lunchroom. More information on the Smarter Lunchroom Movement can be found on their website: smarterlunchrooms.org.

- **4-H Capitol Experience:** Our United Youth Leadership 4-H program sent seven youth from Grand Traverse County down to Lansing for 4-H Capitol Experience. During the four days in Lansing, youth toured the Capitol building, Michigan Supreme Court, and different governmental agencies. They also spoke with Lobbyists and Legislative aides as well as their Senators and House of Representative leaders. Youth picked an issue group and tried to pass a mock bill into law. This was a wonderful time for youth to see how government works; see that they do have a voice and how they can get involved at the local, state and national level. One youth said, *“I had the opportunity to go to 4-H Capitol Experience this year and I'm so glad I did! I learned so much and had a blast!! I just want to thank everyone who helped make this amazing experience possible! I highly recommend this program to anyone who wants to learn more about Michigan's government.”*



- **4-H Exploration Days:** Registration is currently underway for this wonderful opportunity for youth ages 11-19 to sample college life – a potentially life-changing experience. During 4-H Exploration Days, youth travel to Michigan State University for three days and two nights this summer from June 24-26. Grand Traverse County 4-H plans to bring 40+ youth and adults to campus to take fun classes, live in the dorm, eat dorm food and participate in other amazing on-campus activities. From crafts to biology, sports to science, classes are offered that suits the interests of everybody. During free time, youth and adults have the opportunity to participate in behind-the-scenes tours, entertainment, recreational activities, and much more. As one previous youth participant noted, *“I would definitely recommend Exploration Days to a friend. There is a session to fit everyone's interests and time left over to explore the campus.”* If you have a student that would be interested in participating, please contact Karin Stevens, steve552@msu.edu or 231-922-4825.



Parks and Recreation (7)

- **Easling Pool** – Registration for the Spring Session of American Red Cross lessons in Easling Pool began March 30. Registration remains open through the first day of each class. The session begins the weekend of April 17 and runs through June 7. Forty-four openings were available as of April 1.
- **Kids Kove** – Following many discussions, deliberations research, professional assessments, and two rounds of soil testing, on March 19, 2015, the Parks and Recreation Commission voted to remove the nearly 18-year-old Kids Kove playground structure ultimately because of the many safety issues that were identified that are too costly for the County to repair. Refurbishing the playground also would leave wood treated with Chromated Copper Arsenate (CCA) remaining in the playground, which the Commission considered to be another significant safety issue. Removal currently is scheduled to take place during the week of May 4. A plan will be made to preserve all of the markers and any signage with community members' and donors' names. The plan will be shared with the community as soon as it is finalized by the Parks and Recreation

Department. The Commission and the County Parks and Recreation Department acknowledges and truly appreciates the tremendous community efforts that went into fundraising for and building Kids Kove. Although Kids Kove is irreplaceable, Commissioners have expressed a desire to see a playground of some sort located again at the Civic Center in the future. There currently are no plans for replacing the playground. The Business Development Team, a subcommittee of the Parks and Recreation Commission, is charged with writing a business plan for the Civic Center this year. The team will examine all options for best serving our community at the Civic Center, and will make recommendations to the full Commission.

Planning/Brownfield/Economic Development/Housing (1, 3, 4, 7, 8)

- The County Land Bank Authority is assisting Blair Township to develop a tax-foreclosed parcel at the corner of US-31 and Rennie School Road. As part of an agreement between the Township and the Land Bank, a realtor is being retained to market the parcel to potential developers. The site is approximately 70 acres and has water and sewer service. The goal is to have the parcel developed and placed back on the tax rolls.
- A brownfield redevelopment project is being developed for improvement of the Park Place hotel in downtown Traverse City. For the first step, both the Grand Traverse County Commission and the Traverse City Commission will be holding a joint meeting on April 13 to learn about details of the new proposal.
- A new long range capital improvement plan (CIP) has been prepared by the County's Capital Review Committee. The plan was reviewed and recommended for approval by the County Planning Commission. The plan will be presented at the County's Resource Management & Administration Committee on April 8. For information on the plan, visit: www.grandtraverse.org/planning and click on "Capital Improvement Plan" on the left.

Prosecuting Attorney (7)

- Authorized 281 misdemeanor complaints
- Authorized 41 felony complaints
- Authorized 30 juvenile petitions
- Initiated 7 new Neglect/Abuse cases
- Handled 5 alleged Mentally Ill cases
- Referrals from Office of Child Support = 26
- Cases filed in Family Court = 10
- Defendants served with Summons & Complaint = 15
- Judgments = 16

Resource Recovery (8)

- The Keystone Brush Site opens to the public for the 2015 season on Tuesday, April 7, 2015. The site is open each week on Tuesday, noon-7pm, and Thursday and Saturday 9am to 3pm through to Saturday, November 21.
- Earth Day Events - The following annual events are scheduled to be held at the location of the Sara Hardy Farmer's Market (Grandview Parkway and Union St.) in downtown Traverse City:
 - Saturday, April 18 - Seedling Giveaway Free pine seedlings will be distributed by Traverse City Light & Power (TCL&P) beginning at 8am until supplies run out.

- Saturday, April 18 - Earth for Earth Day Compost Giveaway Courtesy of the City of Traverse City & Grand Traverse County Resource Recovery Department, free compost will be distributed on a self-service, self-haul basis beginning at 8am (or until all compost is gone).
 - Friday, April 17 thru Friday, April 24 - Clean Out Your Files Week American Waste is donating the use of a recycling container to help downtown businesses recycle unwanted paper material.
- The Michigan Green Consortium will hold their Spring 2015 Clean Up Green Up event at the American Waste Material Recycling Facility located at 280 Hughes Drive in Traverse City on Sunday, April 26, 2015 from 9am until 3pm. A complete list of materials accepted can be viewed at cleanupgreenup.com.
 - Governor's Recycling Summit - May 5, 2015 - Kalamazoo Fueled by Governor Snyder's initiative to double Michigan's recycling rate by May 2016, the first-ever Michigan Recycling Summit will be held on May 5, 2015 from 10am to 4pm in Kalamazoo, Michigan. The Summit will launch the 2015 Michigan Recycling Coalition Annual Conference in Kalamazoo.

Treasurer (1)

- County Treasurer Heidi Scheppe settled with all the townships and the City. She was able to make it to 8 township meetings to present settlement numbers to their boards and will deliver the remaining 5 in April.
- Personal service was completed on all homes that were scheduled to be foreclosed on that have a Primary Residence Exemption. All parcels the Treasurer visited ended up being paid or a hardship extension was granted and the homeowner was put on a payment plan to avoid foreclosure and eviction from their home.
- Worked with bank and software programmers to enable the ability to set taxpayers up on an ACH payment plan for direct monthly payment of their property taxes if they choose.
- Successfully created profile/account and transmitted our payroll tax payment through the new State reporting website.

Veterans Affairs (7)

- State Grant The Department was successful in securing a service enhancement grant totaling \$15,000 from the State of Michigan, Michigan Veterans Affairs Agency. With the grant we are able to replace a clerical support position with a direct service provider position. This grant represents the first time our county has received any direct monetary assistance to provide service from the State of Michigan. We will continue to work with the new State Veterans Agency to improve service in the State and work towards a continuous stream of funding for county operations.
- Veterans Hiring Fair A veterans hiring fair sponsored by NMC and several other local businesses was held in March at the Hagerty Center. The event was well organized and was a tremendous success. 55 local employers (including 4 Grand Traverse County departments) with jobs to offer were in attendance and over 200 veterans seeking employment had direct access to the companies as well as VA benefit, health care, and employment assistance services through our office, the VA clinic and Michigan Works.

TOWNSHIP OF ACME

At a regular meeting of the Township Board of the Township of Acme, Grand Traverse County, Michigan, held on the 12th day of May, 2015, at 7:00 pm, Eastern Daylight Savings Time, at the Acme Township Hall in Williamsburg, Michigan there were:

PRESENT: _____

ABSENT: _____

The following preambles and resolution were offered by _____ and seconded by _____:

**RESOLUTION APPROVING THE CONTRACT WITH THE
BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF GRAND TRAVERSE
REGARDING THE ISSUANCE OF THE
COUNTY OF GRAND TRAVERSE
MICHIGAN TRANSPORTATION FUND BONDS, SERIES 2015**

WHEREAS, a request has been filed with the Board of County Road Commissioners of the County of Grand Traverse (the "Road Commission") by the this Township Board (the "Board") of the Township of Acme, Grand Traverse County, Michigan (the "Township"), for the construction of certain road improvements to be situated in the Holiday Hills Area Subdivision Road Improvement Special Assessment Project Special Assessment District located in the Township (the "Improvements"); and

WHEREAS, the Road Commission has determined to make the Improvements which will be paid for as described in Exhibit A attached hereto; and

WHEREAS, the Township has caused to be prepared and confirmed a Special Assessment Roll (the "Roll") in the total principal amount of not to exceed \$1,084,494.95 for the purpose of defraying part of the Township's costs of the Improvements, the Roll being divided in fifteen equal annual installments and said installments being payable December 1st of each year of the years 2015 to 2029 both inclusive; and

WHEREAS, the Road Commission has determined that it will be necessary to issue bonds (the "Bonds") to finance the Improvements in anticipation of the collection of unpaid installments to the Township on the Roll; and

WHEREAS, the Township Board wishes to enter into a contract agreeing to pay the amounts to be received from the Township's special assessment collections to the Road Commission for payment of the principal and interest on the Bonds.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE TOWNSHIP OF ACME, MICHIGAN, as follows:

1. The Contract attached hereto as Appendix A is hereby approved by the Township Board of the Township of Acme for execution by the designated officials.

2. All resolutions and parts of resolutions in conflict with the foregoing are hereby rescinded.

3. This Resolution shall become effective immediately upon its adoption and shall be recorded in the minutes of the Township as soon as practicable after adoption.

A roll call vote on the foregoing resolution was then taken, and was as follows:

YES: _____

NO: _____

ABSTAIN: _____

The resolution was declared adopted.

CERTIFICATION

The undersigned, being the duly qualified and acting Clerk of the Township of Acme, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board of the Township of Acme at a regular meeting held on May 12, 2015, at which meeting a quorum was present and remained throughout, (2) that an original thereof is on file in the records of the Township, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended), and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Cathy Dye, Clerk
Township of Acme

Las.r4-gra140

APPENDIX A

CONTRACT

THIS CONTRACT (the "Contract") is made as of June 1, 2015, by and between the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF GRAND TRAVERSE, a quasi-municipal corporation, of 1881 LaFranier Road, Traverse City, Michigan 49696 (the "Road Commission"), and the TOWNSHIP OF ACME, a Township located in the County (the "Township").

WHEREAS, a request has been filed with the Board of County Road Commissioners of the County of Grand Traverse (the "Road Commission") by the Township Board (the "Board") of the Township of Acme, Grand Traverse County, Michigan (the "Township"), for the construction of certain road improvements to be situated in the Holiday Hills Area Subdivision Road Improvement Special Assessment Project Special Assessment District located in the Township (the "Improvements") as described in Exhibit A; and

WHEREAS, the Road Commission has determined to make the Improvements which will be paid for as described in Exhibit A attached hereto; and

WHEREAS, the Township has caused to be prepared and confirmed a Special Assessment Roll (the "Roll") in the total principal amount of not to exceed \$1,084,494.95 for the purpose of defraying part of the Township's costs of the Improvements, the Roll being divided in fifteen equal annual installments and said installments being payable December 1st of each year of the years 2015 to 2029 both inclusive; and

WHEREAS, the Road Commission has determined that it will be necessary to issue Michigan Transportation Fund bonds (the "Bonds") to finance the Improvements on the condition that the Township agrees to pay the amounts due under the Bonds for payment of the principal and interest on the Bonds; and

WHEREAS, the parties wish to enter into a contract whereby the Township agrees to pay the amounts as set forth in Exhibit A and to be received from the Township's special assessment collections to the Road Commission for payment of the principal and interest on the Bonds.

NOW, THEREFORE, IT IS AGREED BETWEEN THE TOWNSHIP OF ACME AND THE BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF GRAND TRAVERSE, as follows:

1. Special Assessment Roll. The Township has confirmed a Special Assessment Roll for the Holiday Hills Area Subdivision Road Improvement Special Assessment Project Special Assessment District located in the Township in the total amount of \$1,084,494.95, which is payable beginning December 1, 2015 and

each December 1 thereafter through and including December 1, 2029, a copy of which is attached hereto as Appendix I.

2. Payments to be made by the Township. The Township agrees to pay to the Road Commission for the Improvements matching funds in the amount of \$100,000, Township contingency funds as necessary up to \$50,000, and the annual principal and interest payments on the Bonds to be issued in the amounts set forth in Appendix II attached hereto (which will be attached once the Bonds are sold).

3. Miscellaneous.

a. Effective Date. This Contract shall become effective after approval by the legislative body of the Township and the Road Commission, and execution by the authorized officials of the parties. It shall terminate 17 years from its date or upon the earlier payment in full of all principal of, premium, if any, and interest on the Bonds.

b. Counterparts. This Contract may be executed in several counterparts each of which shall be deemed one and the same agreement. It shall be binding upon and inure to the benefit of the parties to it and their respective successors and assigns.

c. Contingency. This Contract is contingent upon the County of Grand Traverse issuing the Bonds to defray the cost of constructing the Improvements, and nothing contained in this Contract shall require the Road Commission to construct the Improvements if the County fails to issue the Bonds or is unable, after use of its best efforts, to sell the Bonds to finance the same.

d. Governing Law. This Contract shall be interpreted under the laws of the State of Michigan.

e. Authority. Each party warrants and represents that the execution and performance of this Contract have been duly authorized by all necessary action, are authorized by law, and do not contravene any policy, resolution or controlling rule.

f. Entire Agreement. This Agreement sets forth the entire agreement between the Road Commission and the Township with respect to the subject matter of this Contract.

g. Captions and Bylines. The captions and bylines used in this Contract are for the convenience of reference only and in no way define, limit or describe the scope of intent of any provision of this Agreement.

h. Use of the Singular. The use in this Contract of the singular shall be deemed to be and include the plural (and vice versa) where applicable.

IN WITNESS WHEREOF, the parties have caused this Contract to be executed and delivered, by their respective duly authorized officers, all as of the day and year first above written.

TOWNSHIP OF ACME

BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF GRAND TRAVERSE

By: _____
Its: Supervisor

By: _____
Its: Chair

By: _____
Its: Clerk

By: _____
Its: Secretary

las.r4-gra140

Acme, Grand Traverse County, Michigan T27N-R10W Section 10 SE 1/4 of SW 1/4
 Holiday Hills Area Subdivision Road Improvement Project
 PROPOSED SPECIAL ASSESSMENT ROLL-

Appendix I

Parcel Number	Property Address	Property Owner	Mailing Address	City	State	Zip Code	Legal Description	Assessment
01-550-059-00	4247 AUDUBON DR	WAGGONER S GORDON	4050 HAMMOND RD	TRAVERSE CITY	MI	49686	LOT #59 NORTHPOINTE #2	\$ 5,505.05
01-550-057-00	4282 AUDUBON DR	ALEJANDRO NICOLE	4282 AUDUBON DR	TRAVERSE CITY	MI	49686	LOT #57 NORTHPOINTE #2	\$ 5,505.05
01-550-056-00	4289 AUDUBON DR	HOUSE TREVOR W & CHARLOTTE L	4289 AUDUBON DR	TRAVERSE CITY	MI	49686	LOT #56 NORTHPOINTE #2	\$ 5,505.05
01-610-037-00	3320 BASSWOOD DR	DE MARSH JOHN & SANDRA	3320 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 37 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-041-00	3333 BASSWOOD DR	MAYFIELD SUSAN J	3333 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 41 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-042-00	3345 BASSWOOD DR	KORR JOHN F & JANET	3345 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 42 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-038-00	3346 BASSWOOD DR	GRAY ROBERT J & THERESA L	3346 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 38 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-043-00	3357 BASSWOOD DR	KASPER JASON & JENNY	3357 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 43 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-039-00	3358 BASSWOOD DR	METZLER MICHAEL D & STEPHANIE J	7931 STATE HIGHWAY M 123	NEWBERRY	MI	49868	LOT 39 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-044-00	3385 BASSWOOD DR	SAVAGE AMANDA R	3385 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 44 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-040-00	3386 BASSWOOD DR	FYFE GREGORY D	3386 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 40 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-045-00	3409 BASSWOOD DR	CROWLEY MICHAEL & PAT	3409 BASSWOOD DR	TRAVERSE CITY	MI	49686	LOT 45 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-067-00	4219 BAYWOOD DR	RUSHLOW DAVID C	4219 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 67 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-068-00	4220 BAYWOOD DR	MILLER JAMES F & BARBARA J	4220 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 68 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-612-122-00	4236 BAYWOOD DR	PAYNE BARBARA E	4236 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 122 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-123-00	4241 BAYWOOD DR	KORNMILLER ALLAN & CAROLE TRUST	4241 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 123 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-121-00	4248 BAYWOOD DR	PASCOE CINDY L	4248 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 121 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-124-00	4263 BAYWOOD DR	BROWN WAYNE H & DEBORAH J	4263 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 124 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-120-00	4270 BAYWOOD DR	ANDERSEN DAVID SR	626 S VINE ST	CHANDLER	AZ	85225	LOT 120 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-125-00	4281 BAYWOOD DR	VOGTSBERGER DONALD & MARILYN	4281 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 125 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-119-00	4290 BAYWOOD DR	MAGNUS STEVEN J & KIMBERLY A	1214 CERRO DR	TRAVERSE CITY	MI	49686	LOT 119 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-126-00	4301 BAYWOOD DR	SMITH HARVEY & MARY	4301 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 126 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-118-00	4308 BAYWOOD DR	NEER GREGORY S & MARY K	4308 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 118 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-127-00	4323 BAYWOOD DR	SCHMIDT CHARLES F & MEGAN L	4323 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 127 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-117-00	4324 BAYWOOD DR	NEAL TIMOTHY J	4324 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 117 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-116-00	4338 BAYWOOD DR	SEYMOUR TERRY & MARCIA	4338 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 116 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-128-00	4341 BAYWOOD DR	FINCH ELIZABETH A	4341 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 128 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-129-00	4357 BAYWOOD DR	BOEHM FRANZ & CHRISTINA A	6830 FRANKLIN WOODS	TRAVERSE CITY	MI	49686	LOT 129 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-115-00	4364 BAYWOOD DR	RAMICK JEANNE A	4364 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 115 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-130-00	4375 BAYWOOD DR	CARRIGAN BRIAN E & PAMELA J	4375 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 130 SHERWOOD ESTATES NO 2.	\$ 5,505.05

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Parcel Number	Property Address	Property Owner	Mailing Address	City	State	Zip Code	Legal Description	Assessment
01-612-114-00	4392 BAYWOOD DR	PATRICK GLENN T TRUST	P O BOX 1014A	BIG RAPIDS	MI	49307	LOT 114 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-131-00	4393 BAYWOOD DR	ELLIOTT DOUGLAS & SUSAN	4393 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 131 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-132-00	4403 BAYWOOD DR	BUELL WEBSTER & ALICE L	4403 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 132 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-133-00	4415 BAYWOOD DR	BANNON JAMES & JACALYN	4415 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 133 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-113-00	4426 BAYWOOD DR	JOHNSON AISLYN K & WARREN JILL M	4426 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 113 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-135-00	4433 BAYWOOD DR	HELBIG ANNE E & JASON B	4433 BAYWOOD DR	TRAVERSE CITY	MI	49686	LOT 135 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-610-016-00	4301 DEERWOOD DR	KLADDER WAYNE & RUTHANNE	4301 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 16 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-015-00	4319 DEERWOOD DR	MORRELL ROBT F & MARELLENE	4319 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 15 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-014-00	4343 DEERWOOD DR	PRINCE PHILIP L & BARBARA J	4343 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 14 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-035-00	4366 DEERWOOD DR	DOYLE MICHELLE	4366 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 35 SHERWOOD ESTATES SUB	\$ 5,505.05
01-610-013-00	4367 DEERWOOD DR	HOSKING JOSETTE H TRUST	4367 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 13 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-036-00	4384 DEERWOOD DR	KILLEEN CHRIS	4384 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 36 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-012-00	4385 DEERWOOD DR	NIELSEN PAUL & CAROLYN	4385 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 12 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-011-00	4399 DEERWOOD DR	LASKEY DELBERTA	4399 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 11 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-010-00	4417 DEERWOOD DR	SPENCE MARK	4417 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 10 SHERWOOD ESTATES SUB	\$ 5,505.05
01-610-009-00	4435 DEERWOOD DR	JOHNSON JAMES P & JANE S LE	4435 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 9 SHERWOOD ESTATES SUB	\$ 5,505.05
01-610-052-00	4450 DEERWOOD DR	LLOYD MICHAEL A & KIMBERLY A	4450 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 52 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-008-00	4451 DEERWOOD DR	QUERY DAVID & MARY L	4451 DEERWOOD DR	TRAVERSE CITY	MI	49686	LOT 8 SHERWOOD ESTATES SUB	\$ 5,505.05
01-495-026-00	3005 GREENWOOD DR	WAGNER RICHARD	3005 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 26 HOLIDAY NORTH	\$ 5,505.05
01-495-024-00	3010 GREENWOOD DR	KOLTVEDT BRENT P TRUST	3010 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 24 HOLIDAY NORTH	\$ 5,505.05
01-495-013-00	3014 GREENWOOD DR	MCCOOL LANCE & MICHELLE	3014 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 13 HOLIDAY NORTH	\$ 5,505.05
01-495-025-00	3017 GREENWOOD DR	BRAUN MICHAEL J & MARIETA	3017 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 25 HOLIDAY NORTH	\$ 5,505.05
01-610-057-00	3165 GREENWOOD DR	WENGER MARK H & CATHERINE E	3165 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 57 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-003-00	3224 GREENWOOD DR	MINASIAN MARK B	P O BOX 958	RANCHO SANTA FE	CA	92067	LOT 3 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-004-00	3238 GREENWOOD DR	PREVO PATRICK N & HEATHER R	3238 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 4 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-058-00	3241 GREENWOOD DR	BENNETT THOMAS A & MARGARET L	3241 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 58 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-005-00	3242 GREENWOOD DR	OWEN LAURIE B	5759 GLEN OAK TURN	NEW MARKET	MD	21774	LOT 5 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-006-00	3264 GREENWOOD DR	KUYPER ALISHA M & POLLARD ERIC M	3264 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 6 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-059-00	3265 GREENWOOD DR	MARCOUX MATTHEW & LYNSY	3265 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 59 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-007-00	3280 GREENWOOD DR	ZACHARIAS WALTER E & KIMBERLY S	3280 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 7 SHERWOOD ESTATES SUB.	\$ 5,505.05

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Parcel Number	Property Address	Property Owner	Mailing Address	City	State	Zip Code	Legal Description	Assessment
01-610-060-00	3281 GREENWOOD DR	MC MELLE DAVID A & CINDY W	3281 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 60 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-061-00	3297 GREENWOOD DR	KAISER DALE	3297 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 61 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-062-00	3311 GREENWOOD DR	OVAITT JAMES S & MARSHA J	3311 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 62 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-064-00	3347 GREENWOOD DR	JESSUP JOHN L & PHYLLIS D	3347 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 64 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-051-00	3348 GREENWOOD DR	BIGGAR CHRISTOPHER T	3348 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 51 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-065-00	3359 GREENWOOD DR	FLYNN MICHAEL P & CHERYL J	3359 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 65 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-050-00	3360 GREENWOOD DR	BERG JAMES J & MICHELLE R	3360 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 50 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-049-00	3382 GREENWOOD DR	ROSS TRACY S & JUDY LEE	3382 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 49 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-066-00	3383 GREENWOOD DR	MILITELLO ANTHONY & JUDY	3383 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 66 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-048-00	3406 GREENWOOD DR	BEEHLER MICHAEL & AMY	11825 RUSSELL RIDGE DR	WILLIAMSBURG	MI	49690	LOT 48 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-069-00	3441 GREENWOOD DR	DEVRIES JERALD & CAROL A	3441 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 69 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-612-103-00	3459 GREENWOOD DR	SABIN DENNIS R & KAREN A	3459 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 103 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-151-00	3462 GREENWOOD DR	RODGERS HAROLD C & MYRNA TRUST	3462 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 151 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-152-00	3474 GREENWOOD DR	PHILLIPS LLOYD D & CYNTHIA S	3474 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 152 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-153-00	3480 GREENWOOD DR	PRICE MATTHEW & NICOLE F	3480 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 153 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-154-00	3496 GREENWOOD DR	LASKEY JEFFREY J	3496 GREENWOOD DR	TRAVERSE CITY	MI	49686	LOT 154 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-610-017-00	3318 HARDWOOD DR	NOBLE MARILYN	3318 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 17 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-034-00	3325 HARDWOOD DR	WOODS MICHAEL J & DENISE A	10270 STONEYBEACH PT	TRAVERSE CITY	MI	49686	LOT 34 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-018-00	3326 HARDWOOD DR	HANSEN WILLIAM G & DOROTHEE TRUSTEE	3326 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 18 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-033-00	3343 HARDWOOD DR	ANDREWS JEAN	3343 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 33 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-019-00	3344 HARDWOOD DR	COFFMAN CAROL T & JOHN M	3344 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 19 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-032-00	3355 HARDWOOD DR	TUSAN MICHAEL & RENE	3355 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 32 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-020-00	3356 HARDWOOD DR	THOMPSON MICHAEL J	3356 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 20 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-021-00	3380 HARDWOOD DR	KLAVON THOMAS B & LEANN M	3380 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 21 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-031-00	3381 HARDWOOD DR	MORSE STEPHEN J & KATHY A	3381 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 31 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-022-00	3388 HARDWOOD DR	PILON KATHY E	3388 HARDWOOD DR	TRAVERSE CITY	MI	49686	LOT 22 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-023-00	4340 MAPLEWOOD LN	SWOGGER GEORGE & JOANNE	4340 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 23 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-030-00	4341 MAPLEWOOD LN	PENNY BRUCE R & ELAINE A TRUST	4341 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 30 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-024-00	4364 MAPLEWOOD LN	MARTIN JERRY R & BARBARA A	4364 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 24 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-029-00	4365 MAPLEWOOD LN	BARBER BRETT & WENDI S	4365 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 29 SHERWOOD ESTATES SUB.	\$ 5,505.05

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01-610-025-00	4386 MAPLEWOOD LN	BOEHM FRANZ X & CHRISTINA A	6830 FRANKLIN WOODS DR	TRAVERSE CITY	MI	49686	LOT 25 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-046-00	4413 MAPLEWOOD LN	DOEZEMA ROBERT R & THERESA A	4413 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 46 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-026-00	4414 MAPLEWOOD LN	SIEKAS ROBERT & KAREN S	4414 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 26 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-027-00	4432 MAPLEWOOD LN	CHASE DENNIS & JUDITH	4432 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 27 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-047-00	4441 MAPLEWOOD LN	TERRILL LINDSEY	4441 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 47 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-610-028-00	4448 MAPLEWOOD LN	HASLINGER LORETTA T TRUST	4448 MAPLEWOOD LN	TRAVERSE CITY	MI	49686	LOT 28 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-550-031-00	PAPER BIRCH LN	SKILLMAN SUSAN C TRUST	4647 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #31 NORTHPOINTE #2	\$ 5,505.05
01-550-058-00	4219 PAPER BIRCH LN	ROE JOHN & RACHEL	4219 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #58 NORTHPOINTE #2	\$ 5,505.05
01-550-060-00	4275 PAPER BIRCH LN	MORRIS JOHN & NANCY	4275 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #60 NORTHPOINTE #2	\$ 5,505.05
01-550-061-00	4293 PAPER BIRCH LN	NIESEN MARILYN E TRUST	4293 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #61 NORTHPOINTE #2	\$ 5,505.05
01-550-062-00	4301 PAPER BIRCH LN	MCLACHLAN BRUCE & LYDIA	4301 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #62 NORTHPOINTE #2	\$ 5,505.05
01-550-055-00	4302 PAPER BIRCH LN	RITTER NATHAN J & LISA C	4302 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #55 NORTHPOINTE #2	\$ 5,505.05
01-550-063-01	4309 PAPER BIRCH LN	DRAKE DAVID & PATRICIA	4309 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #63 NORTHPOINTE #2	\$ 5,505.05
01-550-064-01	4317 PAPER BIRCH LN	DRAKE DAVID & PATRICIA TRUSTEES	4309 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #64 NORTHPOINTE #2	\$ 5,505.05
01-550-065-00	4329 PAPER BIRCH LN	GIRKO STEPHEN	223 WYNDALE ST	SAN ANTONIO	TX	78209	LOT #65 NORTHPOINTE #2	\$ 5,505.05
01-550-053-00	4338 PAPER BIRCH LN	COUNSELL KEITH & BARBARA	4338 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #53 NORTHPOINTE #2	\$ 5,505.05
01-550-066-00	4347 PAPER BIRCH LN	RANSOM DAVID & GLORIA	4347 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #66 NORTHPOINTE #2	\$ 5,505.05
01-550-051-00	4366 PAPER BIRCH LN	ROTH REBECCA G	4366 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #51 NORTHPOINTE #2	\$ 5,505.05
01-550-068-00	4383 PAPER BIRCH LN	PENNEY RODNEY R & MICHELLE R	6085 HERKNER RD	TRAVERSE CITY	MI	49686	LOT #68 NORTHPOINTE #2	\$ 5,505.05
01-550-069-00	4391 PAPER BIRCH LN	MIKULSKI CURT & EILEEN TRUSTEES	4391 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #69 NORTHPOINTE #2	\$ 5,505.05
01-550-049-00	4400 PAPER BIRCH LN	TESSIN DAVID L & CONNIE L	4400 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT# 49 NORTHPOINTE #2	\$ 5,505.05
01-550-070-00	4419 PAPER BIRCH LN	RODDY JOHN T & PAMELA A	4419 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #70 NORTHPOINTE #2	\$ 5,505.05
01-550-048-00	4428 PAPER BIRCH LN	EARLE RICHARD D & EMILY K	4428 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #48 NORTHPOINTE #2	\$ 5,505.05
01-550-071-00	4437 PAPER BIRCH LN	HALL ROBERT & MARY	4437 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #71 NORTHPOINTE #2	\$ 5,505.05
01-550-047-00	4446 PAPER BIRCH LN	MUMFORD MICHAEL J & JILL A TRUST	4446 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #47 NORTHPOINTE #2	\$ 5,505.05
01-550-072-00	4455 PAPER BIRCH LN	EDGINTON WILLIAM C & NANCY E	4455 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #72 NORTHPOINTE #2	\$ 5,505.05
01-550-046-00	4464 PAPER BIRCH LN	WESTERMAN DALE W & TRACEY A	4464 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #46 NORTHPOINTE #2	\$ 5,505.05
01-550-073-00	4473 PAPER BIRCH LN	DEBOW LAURENCE D TRUSTEE	4473 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #73 NORTHPOINTE #2	\$ 5,505.05
01-550-045-00	4482 PAPER BIRCH LN	SARLUND DAVID J & PATRICIA H	4482 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 45 NORTHPOINTE #2	\$ 5,505.05
01-550-074-00	4491 PAPER BIRCH LN	KENNEY ROBERT J & ANGELINE M	4491 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #74 NORTHPOINTE #2	\$ 5,505.05

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Parcel Number	Property Address	Property Owner	Mailing Address	City	State	Zip Code	Legal Description	Assessment
01-550-044-00	4500 PAPER BIRCH LN	CROWELL DONALD W & KILEY	4500 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 44 NORTHPOINTE #2	\$ 5,505.05
01-550-075-00	4509 PAPER BIRCH LN	BEGLEY ANDREW J	4509 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #75 NORTHPOINTE #2	\$ 5,505.05
01-550-043-00	4518 PAPER BIRCH LN	ECHLIN WILLIAM	4518 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 43 NORTHPOINTE #2	\$ 5,505.05
01-550-076-00	4527 PAPER BIRCH LN	ROSKELLEY JANET E TRUST	4527 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #76 NORTHPOINTE #2	\$ 5,505.05
01-550-042-00	4536 PAPER BIRCH LN	FINN BERNARD J & MARILYN J	4536 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 42 NORTHPOINTE #2	\$ 5,505.05
01-550-077-00	4545 PAPER BIRCH LN	MURTAGH MICHAEL	4545 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT #77 NORTHPOINTE #2	\$ 5,505.05
01-550-041-00	4554 PAPER BIRCH LN	BEVIER HAL & KELLY R	4554 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 41 NORTHPOINTE #2	\$ 5,505.05
01-550-001-00	4569 PAPER BIRCH LN	REDDING STEVEN E & SANDRA	4569 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 1 NORTHPOINTE	\$ 5,505.05
01-550-040-00	4572 PAPER BIRCH LN	BAERS MICHAEL L & BARNARD LORI K	4572 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 40 NORTHPOINTE	\$ 5,505.05
01-550-039-00	4586 PAPER BIRCH LN	TEUBERT RICHARD E & MARY ANN TRUST	4586 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 39 NORTHPOINTE	\$ 5,505.05
01-550-038-00	4590 PAPER BIRCH LN	LAMOTT RYAN J & KATIE J	4590 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 38 NORTHPOINTE	\$ 5,505.05
01-550-027-00	4601 PAPER BIRCH LN	MROZINSKI BARBARA	4601 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 27 NORTHPOINTE	\$ 5,505.05
01-550-037-00	4612 PAPER BIRCH LN	BOND NEAL D & EILEEN M	31545 NELSON	WARREN	MI	48088	LOT 37 NORTHPOINTE	\$ 5,505.05
01-550-028-00	4623 PAPER BIRCH LN	BURKE DOROTHY J TRUST	4623 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 28 NORTHPOINTE	\$ 5,505.05
01-550-036-00	4624 PAPER BIRCH LN	NELSON VINCENT E & KERRY J	4624 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 36 NORTHPOINTE	\$ 5,505.05
01-550-029-00	4635 PAPER BIRCH LN	COOPER RICHARD D & JOAN S	4635 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 29 NORTHPOINTE	\$ 5,505.05
01-550-035-00	4636 PAPER BIRCH LN	LADD RONALD J & NANCY	4636 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 35 NORTHPOINTE	\$ 5,505.05
01-550-034-00	4644 PAPER BIRCH LN	EDMOND BEATRICE S	4644 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 34 NORTHPOINTE	\$ 5,505.05
01-550-030-00	4647 PAPER BIRCH LN	SKILLMAN SUSAN C TRUST	4647 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 30 NORTHPOINTE	\$ 5,505.05
01-550-033-00	4660 PAPER BIRCH LN	SOMMERFIELD RONALD & PENNY L	11808 RUSSELL RIDGE DR	WILLIAMSBURG	MI	49690	LOT 33 NORTHPOINTE	\$ 5,505.05
01-550-032-01	4672 PAPER BIRCH LN	MCCORD WILL & CAROLE S TRUSTEES	4672 PAPER BIRCH LN	TRAVERSE CITY	MI	49686	LOT 32 NORTHPOINTE	\$ 5,505.05
01-612-101-00	4190 E TIMBERWOOD DR	WALMER BENJAMIN D & RACHEL P	4190 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 101 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-102-00	4193 E TIMBERWOOD DR	HAMILTON DEBORAH A	4193 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 102 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-100-00	4216 E TIMBERWOOD DR	RUNKEL DAVID A	4216 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 100 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-104-00	4217 E TIMBERWOOD DR	JOHNSON JENNIFER L	4217 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 104 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-105-00	4233 E TIMBERWOOD DR	BROWN RICHARD A & LINDA	4233 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 105 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-099-00	4234 E TIMBERWOOD DR	JOLLY RONALD G & LAURA S	4234 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 99 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-098-00	4256 E TIMBERWOOD DR	LAWSHE LINDA A TRUST	4256 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 98 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-106-00	4261 E TIMBERWOOD DR	ANDERSON RICHARD & LINDA TRUST	4261 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 106 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-107-00	4279 E TIMBERWOOD DR	ANDERSON MATTHEW R & LAURA	4279 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 107 SHERWOOD ESTATES NO 2.	\$ 5,505.05

Acme, Grand Traverse County, Michigan T27N-R10W Section 10 SE 1/4 of SW 1/4
 Holiday Hills Area Subdivision Road Improvement Project
 PROPOSED SPECIAL ASSESSMENT ROLL

Parcel Number	Property Address	Property Owner	Mailing Address	City	State	Zip Code	Legal Description	Assessment
01-612-108-00	4297 E TIMBERWOOD DR	HALLIGAN JACK & JANETTE	4297 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 108 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-096-00	4300 E TIMBERWOOD DR	JOHNSTON JAMES D & SANDRA L TRUSTEE	4300 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 96 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-109-00	4317 E TIMBERWOOD DR	SPRING LEAF PROPERTIES LLC	3691 SPRING LEAF DR	TRAVERSE CITY	MI	49686	LOT 109 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-095-00	4320 E TIMBERWOOD DR	HENSHAW MICHAEL & ERIN K	4320 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 95 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-110-00	4335 E TIMBERWOOD DR	LASUSA LAWRENCE R TRUSTEE	4335 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 110 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-094-00	4338 E TIMBERWOOD DR	SLICKER SHELDON G & TRACI L	4338 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 94 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-111-00	4357 E TIMBERWOOD DR	GROCKAU KURT & ARLENE	4357 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 111 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-093-00	4360 E TIMBERWOOD DR	BARTKOWIAK MICHAEL A & MARYLOU	4360 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 93 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-112-00	4379 E TIMBERWOOD DR	KUHN TERENCE & ELISABETH	4379 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 112 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-092-00	4382 E TIMBERWOOD DR	WILLIAMS ALFORD & JEANNETTE	4382 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 92 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-091-00	4404 E TIMBERWOOD DR	TEELANDER RYAN & LESLIE	4404 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 91 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-090-00	4422 E TIMBERWOOD DR	LEVI KIMBERLY A	4422 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 90 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-089-00	4440 E TIMBERWOOD DR	BERKEY CHRISTOPHER	4440 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 89 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-136-00	4441 E TIMBERWOOD DR	LA COSSE GLENN P	4441 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 136 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-088-00	4454 E TIMBERWOOD DR	RIEDEL KELLEY	4454 E TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 88 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-081-00	N TIMBERWOOD DR	SCHNEIDER JACK & CONSTANCE	3317 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 81SHERWOOD ESTATES NO 2.	\$ - see note 1
01-612-080-00	3287 N TIMBERWOOD DR	JACKSON LORI A & BOOTHROYD JASON R	3287 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 80 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-141-00	3304 N TIMBERWOOD DR	MARKL JOYCE & JOHN	3304 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 141 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-082-01	3317 N TIMBERWOOD DR	SCHNEIDER JACK	3317 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT82 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-140-00	3328 N TIMBERWOOD DR	COULTER JAMES L & CAROL A	3328 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 140 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-083-00	3335 N TIMBERWOOD DR	MULLET BRADFORD S & LISA A	3335 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 83 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-139-00	3350 N TIMBERWOOD DR	SMITH MARYANNA J TRUST	3350 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 139 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-084-00	3357 N TIMBERWOOD DR	LEDFORD WILLIAM E & TRINA E	3357 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 84 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-138-00	3372 N TIMBERWOOD DR	THOMPSON SCOTT R & DEBRA S	3372 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 138 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-137-00	3400 N TIMBERWOOD DR	VERHEUL STANLEY E & JUDITH A	3400 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 137 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-614-180-00	3419 N TIMBERWOOD DR	SOLEM ALTON N JR	2785 S GARFIELD RD N STE B	TRAVERSE CITY	MI	49686	LOT 180 SHERWOOD ESTATES NO.5	\$ 5,505.05
01-612-086-00	3439 N TIMBERWOOD DR	BAJA JEFFREY & LORI B	3439 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 86 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-087-00	3455 N TIMBERWOOD DR	SCHULTZ RANDALL & SUZANNE	3455 N TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 87 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-610-063-00	4239 W TIMBERWOOD DR	DAUER COREY J & HEATHER M	4239 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 63 SHERWOOD ESTATES SUB.	\$ 5,505.05
01-612-070-00	4263 W TIMBERWOOD DR	HAYDEN SUSAN & MACDONALD BRENNAN M	4263 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 70 SHERWOOD ESTATES NO 2.	\$ 5,505.05

Acme, Grand Traverse County, Michigan T27N-R10W Section 10 SE 1/4 of SW 1/4
 Holiday Hills Area Subdivision Road Improvement Project
 PROPOSED SPECIAL ASSESSMENT ROLL

Parcel Number	Property Address	Property Owner	Mailing Address	City	State	Zip Code	Legal Description	Assessment
01-612-150-00	4264 W TIMBERWOOD DR	BURGIN GINGER	4264 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 150 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-071-00	4281 W TIMBERWOOD DR	RUSSELL TODD & MARY	1133 N LUCE AVE	WHITE CLOUD	MI	49349	LOT 71 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-149-00	4282 W TIMBERWOOD DR	MATTEUCCI MICHAEL P & AMY M	4282 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 149 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-148-00	4300 W TIMBERWOOD DR	MCGEE JAMES & DIANNE	4300 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 148 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-072-00	4303 W TIMBERWOOD DR	DONATO-PARAYNO MARLON D	529 ROBINWOOD LN	FRESNO	CA	93704	LOT 72 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-147-00	4316 W TIMBERWOOD DR	GLANZ DOROTHY C	4316 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 147 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-073-00	4323 W TIMBERWOOD DR	JANEGO MELANIE A	4323 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 73 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-146-00	4334 W TIMBERWOOD DR	FRANCISCO HEATHER L	4334 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 146 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-074-00	4345 W TIMBERWOOD DR	ZICK KEVIN A & LINDA S	4345 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 74 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-145-00	4358 W TIMBERWOOD DR	ZEMSTA HOLLY K	4358 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 145 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-075-00	4361 W TIMBERWOOD DR	HATHAWAY THOMAS & REBECCA	4361 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 75 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-144-00	4376 W TIMBERWOOD DR	WECKLER CRAIG J & MEGAN	4376 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 144 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-076-00	4385 W TIMBERWOOD DR	TUCKER KERRY G & MARCY P	4385 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 76 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-143-00	4394 W TIMBERWOOD DR	BARNES THOMAS L & MARY G	4394 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 143 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-077-00	4403 W TIMBERWOOD DR	WHALEN EDMUND & KATHLEEN	4403 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 77 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-142-00	4416 W TIMBERWOOD DR	NOVAK JOHN & MARY BETH	4416 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 142 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-078-00	4421 W TIMBERWOOD DR	BYRNE KEVIN T & KAREN F	4421 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 78 SHERWOOD ESTATES NO 2.	\$ 5,505.05
01-612-079-00	4443 W TIMBERWOOD DR	SCHICHTEL TYLER J & KAITLIN R	4443 W TIMBERWOOD DR	TRAVERSE CITY	MI	49686	LOT 79 SHERWOOD ESTATES NO 2.	\$ 5,505.05

Note 1 parcel 01-612-081-00 (lot 081) is a vacant parcel that is in the process of being combined with adjacent parcel 01-612-082-01 (lot 082)

APPENDIX II

[INSERT DEBT SERVICE SCHEDULE ONCE THE BONDS ARE SOLD]

EXHIBIT A
PROJECT DESCRIPTION

The project (the "Project") will consist of the work described below on the following roads:

Greenwood Dr., Paper Birch Ln., Audubon Dr, W. Timberwood Dr., N. Timberwood Dr., E. Timberwood Dr., Baywood Dr., Deerwood Dr., Hardwood Dr., Basswood Dr. and Maplewood Ln.

and the work will consist of the following:

The proposed project is for 2.7 miles of crushing and shaping the existing failed asphalt and repaving with new Hot Mix Asphalt. Poor surface drainage issues will be addressed with various fixes including new asphalt curb, additional cross/drive culverts, adding shallow drainage swales and removing high berms where applicable. Survey and design will be completed this coming winter and spring with construction planned for the summer or fall of 2015.

Estimated period of usefulness of the project: 15 years plus

Estimated Cost of the Road Construction Project:	\$1,350,000
Bonding Costs:	\$ 40,000
Township Contingency Fund:	\$ 50,000
	<u>\$1,440,000</u>
Acme Township Matching Funds:	\$ 100,000
GTCRC Matching Funds:	\$ 250,000
	<u>\$ 350,000</u>

Total to be financed by the Bonds not to exceed: \$1,090,000

Las.r4-gra140

RESOLUTION OF THE ACME TOWNSHIP BOARD OF TRUSTEES
RESOLUTION #R-2015_-
Resolution on Budget Amendments
Various fund moves adjustments 2014/15 Township Budget
May 12, 2015

At a meeting of the Acme Township Board of Trustees, held on May 12, 2015, the Acme Township Board of Trustees, on a motion made by _____ and seconded by _____

The following resolution:

Whereas, at the Acme Township Board meeting held May 12, 2015, Resolution R-2015-_____ was approved to move a balance in Tax funds account 703.000.273.000 which has been carried forward many years to the General fund per suggestion of Township Auditor to clear this balance out.

Whereas; The Funds being moved will be used to help pay for our new BS&A software once installed. the funds will also be shown on Treasurer Report as assigned committed to this project since billing should be done in new Budget year starting July 1, 2015

Whereas; The Fund's listed below have a budget correction to be made in our Fund balance system as an amended Budget of \$21,000.00 in account 101.000.698.000 Please refer to the following data below.

	Transaction	Description	Fund	Dept.	Line	Amend Amount	Beginning Balance	New Balance
No.1	From	Tax reserve	703	000	273.000	\$21,000.00	\$21000.	\$1089.65
	To	Trans in FRM other funds	101	000	698.000	\$21,000.00	0	21,000.00
No.2.	From							
	To							
No.3	From							
	To							
No.4								

Now therefore be it resolved that the Acme Township Board approves request.

Township Board members: _____ Present: Absent:

Upon roll call, the following vote was cast:

Nay: 0

Abstaining:0

 Jay B. Zollinger Acme Township Supervisor

 Cathy Dye Acme Township Clerk

ACME TOWNSHIP FREEDOM OF INFORMATION ACT PROCEDURES AND GUIDELINES

Pursuant to Michigan's Freedom of Information Act, Public Act 442 of 1976, as amended, ("FOIA") including Section 4(4) of the FOIA, Acme Township adopts these FOIA Procedures and Guidelines.

1. **Purpose.** It is the public policy of the State of Michigan and Acme Township that all persons, except those persons incarcerated in state or local correctional facilities, are entitled to full and complete information regarding the affairs of Acme Township and the official acts of those who represent them as public officials and public employees, consistent with the FOIA.

2. **FOIA Coordinator.** Acme Township's FOIA Coordinator shall be the Township Clerk. The FOIA Coordinator may designate another individual to act on his or her behalf. The FOIA Coordinator shall be responsible for accepting and processing requests for the Township's public records and shall be responsible for approving a denial under the FOIA.

3. **FOIA Requests.** All requests for public record must be in writing to the FOIA Coordinator. Requests must describe the requested public record sufficiently to enable Acme Township to find the record. Acme Township shall provide a FOIA request form that requesters may choose to use. Any Acme Township official or employee that receives a FOIA request shall immediately provide the request to the FOIA Coordinator.

a. Exceptions. No FOIA request is necessary for the following: 1) Copies of assessment/tax records by the property owner of his/her own property; 2) Copies of assessment/tax records that are reasonable and readily available at the time of request; 3) Copies of all current meeting agendas; and 4) Copies of meeting minutes are available on the Acme Township website, if hard copies are requested then copy charges will apply.

b. FOIA Request Sufficiency. All FOIA requests must contain the following:

- i. The name of the requester.
- ii. The mailing address of the requester or, if no mailing address, a statement that the requester will return on the fifth business day to receive the Township's response.
- iii. A statement indicating that the requester will pay the costs allowable under the FOIA, or documentation that the requester is receiving public assistance or other facts showing inability to pay due to indigence.
- iv. A description of the public record sought by the requester and whether the requester would like to inspect, copy, or receive copies of the public record (if copies, what form of copy is desired, e.g., paper, disc, email, etc.).

c. Alternative Delivery of FOIA Request. A written request made by facsimile, electronic mail, or other electronic transmission shall be considered received 1 business day after the transmission is made. If the transmission is delivered to a spam or junk-mail folder, then the transmission shall be considered received 1 business day after the transmission is discovered.

d. Oral Requests.

- i. The FOIA Coordinator shall accept a disabled person's oral FOIA request by assisting with the writing out of that request and then treating that request as a formal written FOIA Request.
- ii. If an oral request for information is for information on Acme Township's website, the Acme employee receiving said request shall inform the requester of the website address to the extent practicable. If hard copies are requested then a written FOIA request will be required.

4. FOIA Processing. The FOIA Coordinator shall process each FOIA Request according to the following procedures:

a. FOIA Response. Once received, the FOIA Coordinator shall respond to a FOIA Request within 5 business days by doing one of the following (unless otherwise agreed to by the requester):

- i. Granting the request;
- ii. Issuing a signed written notice denying the request that contains:
 - (1) an explanation of the basis under the act for which the FOIA Coordinator found the record exempt from disclosure,
 - (2) a certificate that the public record does not exist by the name given or another name reasonably know to the Coordinator,
 - (3) a description of the public record that is separated or deleted, and
 - (4) the following verbatim *"If you receive written notice that your request was denied in whole or in part, you may, at your option, either 1) submit to the FOIA Coordinator a written appeal that specifically states the word "appeal" and identifies the reason(s) you believe the denial should be reversed; or 2) file a civil action in the Grand Traverse County Circuit Court to compel Acme Township's disclosure of public records within 180 days after Acme Township's final determination to deny a request. If, after judicial review, the Circuit Court determines that Acme Township has not complied with the FOIA and orders disclosure of all or a portion of a public record, you may be awarded attorney's fees and damages as provided by Section 10 of the FOIA."*
- iii. Granting the request in part and issuing a signed written notice denying the request in part which includes the requirements in subsection ii. above; or
- iv. Issuing a notice extending for not more than 10 business days the period during which the FOIA Coordinator shall respond to the request which includes the reason for extension and the date by which he or she shall respond in a manner set out in this subsection 4(a)(i) through (iii).

b. Additional Writing to Requestor. All responses to a FOIA request shall also include the following:

- i. An invoice containing a detailed itemization of the fee charged pursuant to Section 5, below;
- ii. Information indicating where to inspect or receive copies, and pay the charged fee;
- iii. If the public record is available on Acme Township’s website, the web address where such information is available and a statement that there will be additional charge for copies of those records;
- iv. The following statement: *“The Township does not warrant or guarantee the accuracy of the information provided. Rather, it provides the documents only to comply in good faith with the Michigan Freedom of Information Act, and not for any other purpose.”*

c. Failure to Respond. Failure to respond pursuant to subsection 4(a), above, shall constitute a final determination to deny the request if either of the following applies:

- i. The failure was willful and intentional; or
- ii. The written request made the request for public records within the first 250 words of the request, or specifically included the following on the front of an envelope or in the subject line of the request: 1) “freedom of information”, 2) “information”, 3) “FOIA”, 4) “copy”, 5) a recognizable misspelling of the preceding, or 6) reference to the FOIA Act or code.

5. FOIA Fees and Costs. The FOIA Coordinator may charge a fee for copies and actual mailing costs for a FOIA response. In addition, the FOIA Coordinator may charge a fee for the cost of search, examination, review, and the deletion and separation of exempt from non-exempt records if failure to charge a fee would result in unreasonably high costs to Acme Township because of the nature of the request in the particular instance, and the FOIA Coordinator identifies the nature of those unreasonably high costs in the FOIA response. All charged fees and costs shall be determined and adopted by separate resolution of the Acme Township Board, and shall be reviewed and amended from time to time, as necessary.

a. Material, Equipment and Mailing Costs.

Black and White Photocopies	\$0.10 per page
Compact Disc	\$1.00 per disc
Mailing	Actual mailing costs
Contracted Services for Producing Copies	Actual invoiced charge to Acme Township

b. Labor Costs. Labor costs shall be charged in increments of 15 minutes, with all partial time increments rounded down. Costs for labor are as follows:

i. Copies. Labor charges for making copies, creating compact discs, scanning documents, or faxing documents to respond to a FOIA request shall be at the hourly wage of the lowest-paid Acme Township clerical employee, regardless of who makes said copies, plus fringe benefits set out below.

ii. Searching, Locating and Examining. Labor charges for the necessary searching for, locating, and examining of public records to respond to a FOIA request shall be at the hourly wage of the lowest-paid Acme Township employee capable of searching for, locating and examining of public records, regardless of who actually does such work, plus fringe benefits set out below.

iii. Separation and Deletion of Exempt Information. Labor charge for the necessary review associated with separating and deleting exempt information from non-exempt information shall be at the hourly wage of the lowest-paid Acme Township employee capable of separating and deleting exempt information from non-exempt information, regardless of who actually does such work, plus fringe benefits set out below.

If Acme Township does not employ a person capable of separating and deleting exempt information, then it may charge actual contracted hourly wage labor costs if the detailed itemization includes the name of the contracted person or firm. However, the hourly wage shall not exceed an amount equal to 6 times the state minimum hourly wage as determined by Public Act 138 of 2014, as amended.

No charge for separation and deletion shall be made for public records already available on Acme Township's website.

iv. Fringe Benefits. Acme Township shall charge a multiplier for fringe benefits of employees for the labor charges set out above in 5(b)(i) through (iii). The appropriate multiplier shall not exceed the actual fringe benefits of the employee, and in no case shall be greater than 50% of the charged hourly wage. However, if the public records requested are available on Acme Township's website and the requester stipulates that he or she wants copies then there is no 50% limitation and actual labor plus actual fringe benefit costs may be charged for those copies.

c. Waiver or Reduction of Fees and Costs. Fees and costs may be waived or reduced under the following circumstances and shall be reflected in the detailed itemization:

i. Public Interest. Upon request in a FOIA request, Acme Township may reduce or waive fees and costs it determines that searching for or furnishing the public record primarily benefits the general public.

ii. Waiver of first \$20.00. When a requester meets either of the following the first \$20.00 of the fee shall be waived:

(1) The requestor submits an affidavit stating he or she is indigent by either showing that he or she receives public assistance, or provides facts demonstrating the inability to pay the cost. Unless the requester has previously received this waiver from Acme Township twice during that calendar year, or the requestor makes the request in conjunction with another party offering payment for the request. In the case of denial, the FOIA Coordinator shall provide the reason in the FOIA response.

(2) The requestor is a non-profit designated by the state to carry out activities under subtitle C of Public Law 106-402 of 2000 and Public Law 99-313, makes the request on its own or its clients' behalf, the reason is consistent with Section 931 of Public Act 258 of 1974 and is accompanied by documentation of its designation.

d. Good-Faith Deposit. A FOIA response under Section 4(a), above, may include the requirement for a good-faith deposit prior to providing the requested public records if:

- i. A detailed itemization estimate or charge is completed and the detailed itemization exceeds \$50.00;
- ii. The FOIA response include the detailed itemization;
- iii. The required deposit does not exceed ½ of the total charge on the detailed itemization; and
- iv. The FOIA response includes a best efforts estimate of the time to comply with the FOIA.

e. Full Deposit. The FOIA Coordinator shall require a 100% deposit of an estimated fee for a FOIA request if Acme Township has not been paid in full for a previous FOIA response to the same requester if all of the following apply:

- i. The final charge for the previous response did not exceed 105% of the estimate;
- ii. The public records compiled for the previous response remain in Acme Township's possession;
- iii. The previous response was timely;
- iv. Ninety days have passed since the FOIA Coordinator notified the requestor of the previous response's availability;
- v. The requestor cannot show proof of payment for the previous response;
- vi. The FOIA Coordinator provides a complete detailed itemization estimate; and
- vii. No more than 364 days have passed since the date of the FOIA request for which the requester did not make payment.

f. Failure to Respond in a Timely Manner. If Acme Township fails to respond to a FOIA request in a timely manner as required by Section 4 above, it shall do the following:

- i. Reduce labor charges by 5% for each day the FOIA response is untimely with a maximum 50% reduction, if either of the following applies:

- (1) the late response was willful and intentional; or
- (2) the written request made the request for public records within the first 250 words of the request, or specifically included the following on the front of an envelope or in the subject line of the request: 1) “freedom of information”, 2) “information”, 3) “FOIA”, 4) “copy”, 5) a recognizable misspelling of the preceding, or 6) reference to the FOIA Act or code.

ii. Fully note and account for a required charge reduction in the detailed itemization.

6. FOIA Disclosure Appeals. A requester may file an appeal of a disclosure denial to the Acme Township FOIA Coordinator and/or the Grand Traverse County Circuit Court. When a requester submits an appeal of a disclosure denial to the FOIA Coordinator, the FOIA Coordinator shall provide that appeal to the Acme Township Board of Trustees at its next regularly scheduled meeting at which time the appeal shall be considered received.

a. Because the FOIA requires a response to the appeal within 10 business days of receipt, the Township Board shall consider and decide the appeal at the regularly scheduled meeting at which the appeal received and instruct the FOIA Coordinator to do one of the following:

- i. Reverse the disclosure denial and provide the public records to the requester;
- ii. Issue a written notice to the requester upholding the disclosure denial; or
- iii. Reverse the disclosure denial in part and issue a written notice to the requesting person upholding the disclosure denial in part.

b. If Acme Township fails to respond or if it upholds in whole, or part, the disclosure denial then the requester may seek judicial review pursuant to Section 10 of the FOIA.

7. FOIA Fee Appeals. A requester may file an appeal of fees to the Acme Township FOIA Coordinator and/or the Grand Traverse County Circuit Court. When a requester submits a fee appeal to the FOIA Coordinator, the FOIA Coordinator shall provide that appeal to the Acme Township Board of Trustees at its next regularly scheduled meeting at which time the appeal shall be considered received.

a. Because the FOIA requires a response to the appeal within 10 business days of receipt, the Township Board shall consider and decide the appeal at the regularly scheduled meeting at which the appeal received and instruct the FOIA Coordinator to do one of the following:

- i. Waive the fee;
- ii. Reduce the fee and issue a written determination to the requestor indicating the specific basis under section 4 of the FOIA that supports the remaining fee. The determination shall include a certification from the Township Board that the statements in the determination are accurate and that the reduced fee amount complies with its publicly available procedures and guidelines and section 4; or

iii. Uphold the fee and issue a written determination to the requestor indicating the specific basis under section 4 of the FOIA that supports the required fee. The determination shall include a certification from the Township Board that the statements in the determination are accurate and that the fee amount complies with the public body's publicly available procedures and guidelines and section 4.

b. If Acme Township fails to respond or if it upholds in whole, or part, the fee then the requester may seek judicial review pursuant to Section 10a of the FOIA.

8. FOIA Response Retention.

a. The FOIA Coordinator shall hold an un-retrieved completed FOIA response and all public records associated with that response for one year and one day from the date of completion. If the requester fails to pay the fee or retrieve the response and public documents prior to expiration of that time, then the FOIA Coordinator may recycle, destroy or return the documents to the appropriate department.

b. The FOIA Coordinator shall maintain a chronological file of all FOIA requests processed by him or her together with a copy of all public records provided as part of that response, letters and invoices for a period of one year and one day from the date of the completed response.

ACME TOWNSHIP

Resolution of the Township Board of Trustees
To Adopt Freedom of Information Act Procedures and Guidelines,
Summary, and Documents

Resolution No: R2015-____
_____, 2015

At a regular meeting of the Acme Township Board of Trustees held on _____,
2015, the Township Board adopts the following resolution:

WHEREAS the Michigan Legislature amended the Freedom of Information Act, MCL
15.231 *et seq*, as amended (“FOIA”) effective July 1, 2015;

WHEREAS the FOIA requires Acme Township to adopt Procedures and Guidelines, and a
Procedures and Guidelines Summary;

WHEREAS the Township Board has reviewed and considered a FOIA Procedures and
Guidelines, and a FOIA Summary of Procedures and Guidelines;

WHEREAS the Township Board has also reviewed and considered a FOIA Request Form,
a FOIA Notice of Extension Form, a FOIA Denial Form, and a FOIA Cost Worksheet; and

WHEREAS Acme Township has found the above referenced documents to be satisfactory
and appropriate according to the FOIA.

Now therefore be it resolved that the Acme Township Board adopts the following documents
which are attached to this Resolution:

1. The Acme Township Freedom of Information Act Procedures and Guidelines.
2. The Acme Township Freedom of Information Act Procedures and Guidelines
Summary.
3. The Acme Township Freedom of Information Act Request Form.
4. The Acme Township Freedom of Information Act Notice of Extension Form.
5. The Acme Township Freedom of Information Act Notice of Denial Form.
6. The Acme Township Freedom of Information Act Cost Worksheet.

This resolution will become effective July 1, 2015.

The above resolution is adopted this _____ day of _____, 2015.

Yes: _____

No: _____

Abstain: _____

Jay Zollinger, Supervisor

Cathy Dye, Clerk

ACME TOWNSHIP

Resolution of the Township Board of Trustees
To Adopt Fees and Costs for Freedom of Information Act Responses

Resolution No: R2015-____
_____, 2015

At a regular meeting of the Acme Township Board of Trustees held on _____, 2015, the Township Board adopts the following resolution:

WHEREAS the Township Board of Trustees has adopted Freedom of Information Act Procedures and Guidelines, and a Freedom of Information Act Summary of Procedures and Guidelines as required by the Freedom of Information Act, MCL 15.231 *et seq*, as amended (“FOIA”);

WHEREAS according to the Procedures and Guidelines the Township Board shall adopt fees and costs for responses to FOIA requests by separate resolution; and

WHEREAS Acme Township has reviewed the official, employee and agent salaries and costs, as well as the fringe benefit costs for the same.

Now therefore be it resolved that the Acme Township Board adopts the following fees and costs for responses to FOIA Requests.

1. Copying costs for letter or legal size shall be 10 cents per page. Copying costs for other sizes must be done by a copy shop and costs shall be the actual costs charged by the copy shop.

2. Labor for copying, emailing, faxing, scanning and similar activities shall be at the hourly wage of the Township’s lowest-paid employee capable of doing said work. The hourly wage is: _____. Labor for said work that must be done by a copy shop shall be at that actual costs charged by the copy shop.

3. Labor for searching for, locating, and examining public records shall be at the hourly wage of the Township’s lowest-paid employee capable of doing said work. In addition, the Township chooses to include the fringe benefits of that employee which amount to ___% of the hourly wage. This task may be done by the Township Secretary, the Township Zoning

Administrator, the Township Clerk, the Township Treasurer, or the Township Supervisor depending on the FOIA request.

- a. The hourly wage plus fringe benefits for the Secretary is: _____.
- b. The hourly wage plus fringe benefits for the Zoning Administrator is: _____.
- c. The hourly wage plus fringe benefits for the Clerk is: _____.
- d. The hourly wage plus fringe benefits for the Treasurer is: _____.
- e. The hourly wage plus fringe benefits for the Supervisor is: _____.

4. Labor for review directly associated with separating and deleting exempt information from nonexempt information shall be at the hourly wage of the Township's lowest-paid employee capable of doing said work. In addition, the Township chooses to include the fringe benefits of that employee which amount to ___% of the hourly wage. This task may be done by the Township Secretary, the Township Zoning Administrator, the Township Clerk, the Township Treasurer, the Township Supervisor, or Township contracted labor (Attorney or otherwise) depending on the FOIA request.

- a. The hourly wages set out in Paragraph 3 above are incorporated respectively.
- b. The actual hourly costs for contracted labor shall be charged, but in no case shall the hourly cost exceed 6 times the state minimum hourly wage determined under section 4 of the workforce opportunity wage act, as amended. Said hourly cost is currently \$48.90. Beginning January 1, 2016 said hourly cost shall be \$51.00. Beginning January 1, 2017 said hourly cost shall be \$53.40. Beginning January 1, 2018 said hourly cost shall be \$55.50.

This resolution will become effective July 1, 2015.

The above resolution is adopted this _____ day of _____, 2015.

Yes: _____

No: _____

Abstain: _____

Jay Zollinger, Supervisor

Cathy Dye, Clerk

PLANNING & ZONING REVIEW

TO: Acme Township Board

FROM: Nikki Lennox; Zoning Administrator

SUBJECT: 2015-01 Major Amendment to SUP 99-3P

DATE: 05/07/2015

SUP 2015-01 Major Amendment to SUP 99-03P 6500 Traverse Bay Dr. Traverse Bay RV Park. Request to add Phase 3A consisting of 12 RV sites.

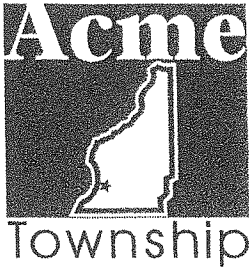
Background:

In April 2015 the Acme Planning Commission heard a request from Fred Campbell JML Design Group on behalf of Dave Scheppe of Scheppe Investments. The request is to construct 12 additional RV sites that can also be used for "Park Model" cabins, as regulated by the MDEQ who permits the RV Park as a campground. The sites are 50' x 100' and an option for a 12'x16' storage building is included.

This request is by Special Use Permit amendment approval in the AG District. **The Planning Commission recommended approval of this SUP amendment to the Township Board, subject to the following stipulations of the Planning Commission motion April 11, 2015:**

- 1) The Park Model buildings will not have permanent foundations and must have wheels;
- 2) All agency reviews and approvals received including stormwater and soil erosion control approval;
- 3) The Coach Houses can be permanently affixed to the RV unit site;
- 4) Incorporate recommendations from the Cardno review;
- 5) Submit drawing that shows limits of construction along with enlarged site plan of the 12 additional RV site area and work;
- 6) Conform to the Acme Township ordinance for native landscape plantings;
- 7) The approved site plan package be signed by the Chairperson of the Planning Commission and the Applicant, or their representative;
- 8) Prior to issuance of Land Use Permit, final plans to be reviewed by Beckett & Raeder, Cardno, and any other consultants of Beckett & Raeder to insure recommendations have been followed.

Suggested motion for the Township Board: Motion to approve major amendment to SUP 99-03 including stipulations 1-8 of the Planning Commission motion as presented.



Application Number: 2015-01 (Revised)

Parcel Number: 01-236-012-06

ACME TOWNSHIP
Grand Traverse County, Michigan
Application for Special Use Permit/Site Plan Approval

Owner/Applicant Information: (please type or print clearly)

Name: JML Design Group, Ltd. Phone: (231) 947-9019
Mailing Address: 225 E. 16th Street, Suite B
City: Traverse City State: Michigan Zip: 49684
E-Mail Address: jmlgdg@att.net

A. Property Information:


1. **Address:** 6500 Traverse Bay Drive
2. **Property Description/Parcel Number:** 28-01-236-012-06
3. **Current Zoning of Property:** A-1 Agricultural
4. If this project is one phase of a larger development and/or property subject to an **existing/previous Site Plan Review, Special Use Permit, or Variance**, what is/are the applicable permit number(s)? 99-3P
5. **Provide proof of current property ownership.** If applicant is not the current property owner, also provide written permission to act as agent of, and complete contact information for the current property owner.
6. **Proposed Use/Change to Property:**
7. **Estimated Start and Completion Dates:**
Phase IIIA: Spring 2015 - July 2015

B. Application Packet Requirements: REFER TO ACME TOWNSHIP ZONING ORDINANCE AND COMPLETE ATTACHED CHECKLIST

C. Fees: Include initial fee as required by the Acme Township Ordinance #2004-01, Schedule of Fees.

D. Fee Escrow Policy Acknowledgement: provide completed and signed form with initial escrow fee deposit.

E. **Affidavit:** The undersigned affirms that he/she is the AGENT (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future special use permit and zoning ordinance compliance.

Signed:  _____ Date: 04/22/15

Township Use/Official Action:

Application Number: _____ Date Received: _____

Public Hearing/Meeting: _____

Date of Advertising: _____ T&A Account #: _____

**PROPOSED EXPANSION OF
TRAVERSE BAY RV PARK**

IMPACT ASSESSMENT STATEMENT

OWNER:

Scheppe Investments Inc.
7915 Cairn Highway
Elk Rapids, Michigan 49629

PREPARED BY:

JML Design Group, Ltd.
1874 Cass Hartman Court, Suite B
Traverse City, Michigan 49684
(231) 947-9019

October 23, 2008
February 25, 2009 (Revised)
April 11, 2011 (Revised)
November 6, 2014 (Revised)
January 12, 2015 (Revised)
April 27, 2015 (Revised)

Proposed Project

This report contains the anticipated physical impacts of the proposed recreational vehicle (RV) development on the immediate project area.

The proposed project includes the construction of (12) additional RV sites on an acquired piece of property adjacent to the existing park. The typical site for the new development is approximately 50' x 100'. The typical site will include an optional 12' x 16' storage building, 1552 s.f. of concrete driveway, and 448 s.f. of brick pavers, for use by a typical RV.

The 12' x 16' storage building will be set on a concrete slab. The building will be an option to each RV site. The building will contain several options to upgrade to a coach house, including a toilet, shower, and washer/dryer. The infrastructure is designed to accommodate the utilities for the coach house upgrades. The building has been approved by the MDEQ licensing for conformance with the Michigan Campground Rules. The coach house will be a limited common element of the condominium.

A new concept has been introduced to the RV parks, in the form of a Park Model. The Park Model is a pre-manufactured mobile unit that is licensed by the RV Industry. The unit is portable and contains 399 s.f. Park Models are mobile but are generally parked in one location for extended periods of time. The intention is to have the option of an RV or a Park Model at any given site.

The project is owned by Scheppe Investments LLC. A copy of the warranty deed for the property is attached.

The property is currently zoned A-1 Agricultural. The RV park is permitted with a Special Use Permit.

The overall development is 26.65 acres. The site has some gently rolling hills with a drainage swale separating the parcel into (2) areas. The area to the east of the swale will be considered Phase III (The current park was constructed under (2) phases - Phase I and II). The first (12) units (lots 218-222) and (units 249-255) will be considered Phase IIIA, the remaining (43) units will be Phase IIIB. The west side of the drainage swale will contain (26) units and be referred to as Phase IV.

Phase IIIA is intended to create the first (12) sites to display the Park Model.

The property abuts the Grand Traverse Band of Chippewa and Ottawa Indians Grand Traverse Resort "The Bear" golf course to the west, and a vacant property to the east. An additional lot to the east is owned by Walter and Hazel Wistrand. The property to the north is owned by Janet Marnett. A legal description of the parcel is attached.

Phase IIIA of the project will commence in spring of 2015 and completed by July of 2015.

Silt fencing will be provided as required during the construction process. The requirements of the Grand Traverse Soil Erosion Department will be strictly adhered to.

The RV park will not create any nuisances such as dust, fumes, vibration, or smoke. There will be no street lighting.

The property has (1) significant oak tree. The tree will remain.

The property has no existing structures developed on it.

Soils

The soils of the site are clay and sandy loam. Soil data is attached. The driveways and parking areas for the RV park will not have heavy traffic. Normal asphalt paving thickness and design will be provided.

Drainage

The storm water drainage system is designed to meet the storage requirements of the Grand Traverse County Drain Commission. Storm drainage will be accumulated in retention ponds and in the freeboard area of the proposed water features. Each individual site will be restricted to 2200 s.f. of impervious surface.

The overall site has the ability to be developed in phases and balance with on-site materials.

Sanitary Sewer

The proposed (12) sites will connect to the existing septic field. The septic field and reserve field has been sized and designed to meet the requirements of the Grand Traverse County Health Department.

The sewage flows for the RV park are not unusual in terms of quantity or quality.

Water Supply

Domestic water will be delivered to each site to a standard RV coach pedestal. A new water system will be installed and tied onto the existing system.

No fire suppression will occur on the site.

Traffic Access

The proposed site plan anticipates (1) access point to the existing street system. The new road is designed with a temporary cul-de-sac. The internal roads will be privately maintained. 35' radii will be provided to allow for fire department access.

Landscaping

The areas disturbed by construction will be seeded with grass. Each individual site is responsible for their own lawn irrigation and landscaping.

Miscellaneous

Internal directional and traffic signage will be provided throughout the site.

Parking is provided at a rate of (2) cars per lot, in addition to the motorcoach. Additional guest parking is provided in (2) separate areas.

The ordinance required setbacks are maintained. 25' wetland setbacks are also being maintained.

A series of ponds with aeration fountains are provided throughout the sites.

The RV Park opens in the spring and is shut down in October. The site is not utilized during the winter months.

April 6, 2015

Mr. Fred Campbell, A.I.A.
JML Design Group
225 E. 16th Street, Suite B
Traverse City, MI 49684

Re: Temporary Soil Erosion Control Review
Phase 3, Traverse Bay R.V. Resort
M-72 East, Acme, Township

Dear Fred:

As requested, we have reviewed the proposed Temporary Soil Erosion Control measures that are being proposed during construction of the above referenced project. We have been asked to provide a review of the construction plans as they pertain to soil erosion control protection during the construction period. Permanent erosion control measures and stormwater management were not evaluated.

The plans that you have provided and the discussion we had indicate that the initial construction is only for five (5) RV sites along the southeast edge of Phase 3 which we will refer to as Phase 3-A.

Phase 3-A involves an area that is adjacent to Yuba Creek and is along the eastern side of the property. The proposed construction activity involves the filling along this edge to create the sites that will be placed along this side of the project. Based on the overall grading plan for Phase 3-A, this is the only area that will require temporary soil erosion control measures to be installed. All other areas of the project are sloped within the development and therefore will only require limited installation of silt fence. The focus of the review will be that area along the eastern side of the project influence area.

The plans call for the following temporary soil erosion control devices to be installed:

- A double row of silt fence along the east side of the site for the full length of the proposed disturbed area. Typically, only one row of silt fence would be required so this application is a good safeguard. The silt fence is shown to be placed 25 feet away from the wetland edge. The area between the silt fence and the wetland is depicted as being shallow sloped.

Reviewing the plans we offer the following comments/suggestions:

- Set one row of silt fence along the wetland setback (25'). Set the second row approximately half-way between the setback and the wetland edge. This area is on flatter grade and will afford better protection in the event the first row is compromised.
- Install a row of straw bales, staked in place, at the crest of the fill slope that will be created for this Phase. It would be approximately 320' of straw bales.

- Any slopes created that are at 1 on 3 or greater must be restored with mulch blanket, staked in place for the entire slope. Slopes of less than 1 on 3 must be restored with typical topsoil, seed and mulch standards.
- Minimize the amount of runoff heading to the fill slope area during construction by keeping the slopes running to the west thereby directing runoff to the west.

The Construction Sequence is shown as:

- Install all (temporary) erosion control measures prior to any disturbance of earth.
- Install Retention Basin #2 complete with slow-release/emergency overflow.
- Excavate soil from the proposed water feature for Phase Three and utilize the soil to raise the ground elevation to the proposed grades for the road and units for the five units in Phase Three-A.
- Re-spread and machine grade topsoil for all disturbed areas.
- Install mulch blanket and seed and mulch for all disturbed areas.
- Allow new vegetation to mature to a point that all disturbed areas are stabilized before continuing on with the earth work to complete the construction of the five units.

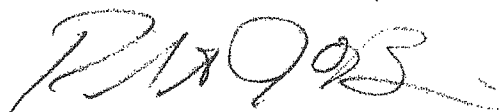
We further recommend that the temporary soil erosion control measures remain in place during the construction of the five units. Once the vegetation in and around the RV sites has been established, the temporary soil erosion control measures may be removed. It is not typical that construction activity halt while waiting for a slope to become vegetated. So with that, this construction sequence is considered over and above what would be expected and should more than satisfy the requirements of the S.E.S.C. Department.

We find that the Temporary Soil Erosion Control Measures as amended by this letter will afford a high level of protection to the downstream areas. As with any soil erosion control measure, inspection and maintenance to them is essential. It is also not uncommon for additional erosion control measures to be added as the project construction proceeds. For that reason it is important to evaluate and determine where concentrated flows may develop and that these areas are further enhanced with erosion control measures.

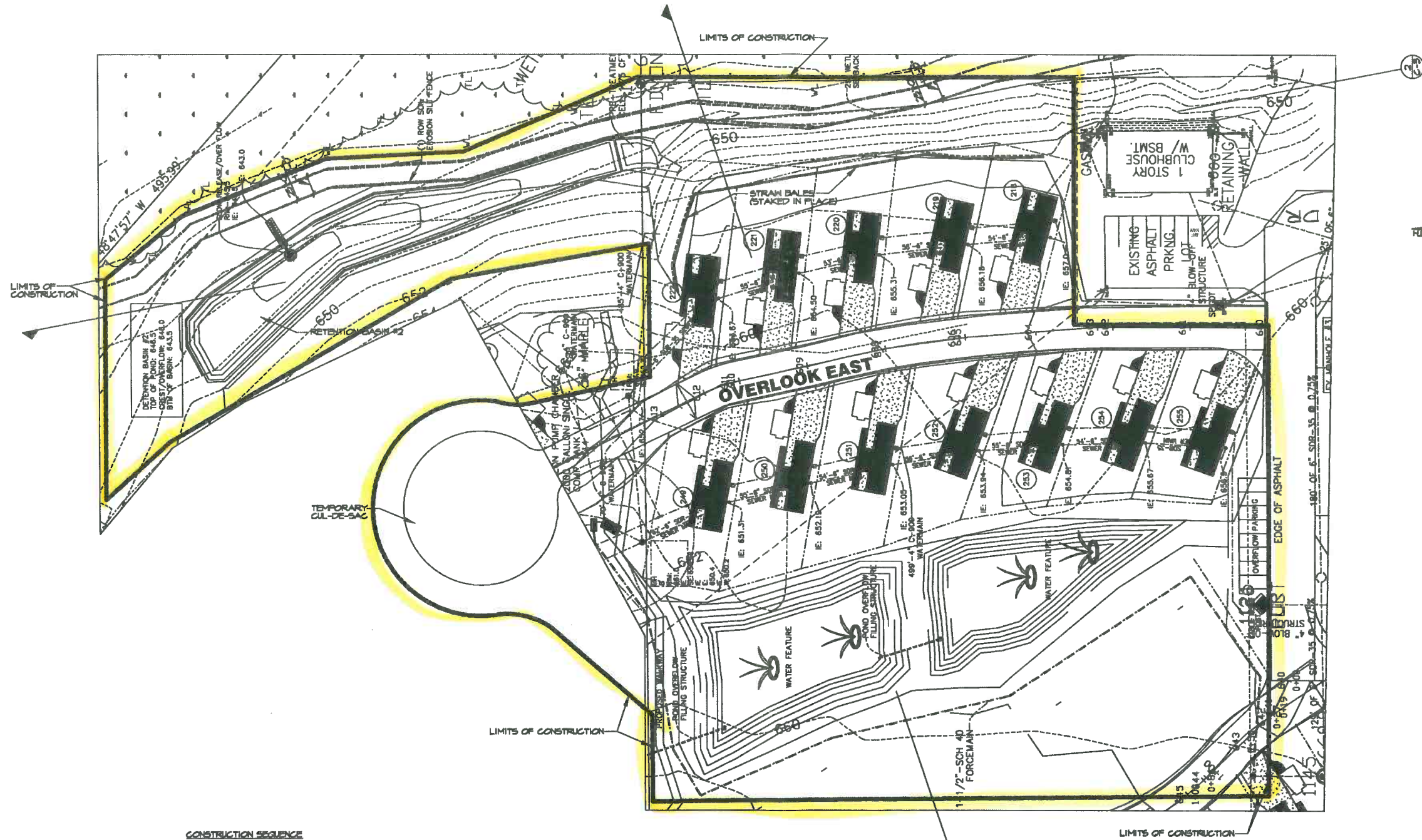
We reiterate that our office has not analyzed the stormwater management system for the development nor have we reviewed items that would be associated with permanent erosion control measures such as seed types and turf reinforcement. It is our understanding that the township engineer is reviewing the design plan against the township's stormwater ordinance.

If you have questions, or require further assistance please do not hesitate to call.

Sincerely
Jozwiak Consulting



Robert J. O'Brien, P.E.
Project Manager



CONSTRUCTION SEQUENCE

- INSTALL ALL (TEMPORARY) EROSION CONTROL MEASURES PRIOR TO ANY DISTURBANCE OF EARTH.
- INSTALL RETENTION BASIN #2 COMPLETE WITH SLOW-RELEASE/EMERGENCY OVERFLOW.
- EXCAVATE SOIL FROM THE PROPOSED WATER FEATURES AND UTILIZE THE SOIL TO RAISE THE GROUND ELEVATION TO THE PROPOSED GRADES FOR THE ROAD AND FOR THE FIVE UNITS (LOTS 218-222).
- RE-SPREAD AND MACHINE GRADE TOPSOIL FOR ALL DISTURBED AREAS.
- INSTALL MULCH BLANKET AND SEED AND MULCH FOR ALL DISTURBED AREAS.
- ALLOW NEW VEGETATION TO MATURE TO A POINT THAT ALL DISTURBED AREAS ARE STABILIZED BEFORE CONTINUING ON WITH THE EARTH WORK TO COMPLETE THE CONSTRUCTION OF THE FIVE UNITS.

NOTE: ANY SLOPES GREATER THAN 1 ON 5 TO BE RESTORED WITH MULCH BLANKET, STAKED IN PLACE FOR THE ENTIRE SLOPE. RESTORE WITH TOPSOIL, SEED, AND MULCH STANDARDS.

1 SITE PLAN
SCALE: 1" = 50'-0"

J.M. DESIGN GROUP, L.L.C. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

	DATE: 01/21/15 SHEET: C-2	PROJECT: TRAVERSE CITY, MICHIGAN DRAWN BY: T.B.R.V.	REVISION: 01/21/15 ISSUED FOR PLANNING	CLIENT: J.M. DESIGN GROUP, L.L.C.	DRAWN BY: T.B.R.V.	CHECKED BY: T.B.R.V.	DATE: 01/21/15	SHEET: C-2
	PREPARED BY: T.B.R.V.	PROJECT NO.: 15-001	DRAWING NO.: 15-001-01	SCALE: 1" = 50'-0"	PROJECT NAME: TRAVERSE CITY, MICHIGAN	DRAWING TITLE: SITE PLAN	DRAWING NO.: 15-001-01	DATE: 01/21/15

RECEIVED
APR 30 2015

To: Acme Township Board
 Date: May 7, 2015

RE: Update on Sayler Park Boat Launch Project

1. Board's recommendations discussed at April 7, 2015, Acme Township Board Meeting

- What is cost to add a second boat ramp to Gosling Czubak's design?
- What is cost to add "tie-ups?"=

2. Cost of recommendations

- Adding a second boat ramp: >\$100k; adding "tie-ups:" \$12k

3. Overall project costs

- 2015 Revised Estimate (February) to make structurally sound: \$371,865 (single ramp; no tie-ups)
- Estimate with "tie-ups" added: \$382195 (Tie ups \$12500)

4. Funding Plan for revised estimate with "tie-ups" -- \$382195

Amount On Hand	Source	Comments
\$ 94,448	2014 MDNR Waterways Grant	\$ 94,448 match required
7,000	2014 2% Tribal Grant Award	
6,072	Individual contribution's	
61,000	Acme Board	Held aside in 2008
\$ 74,072 Total toward Match		
\$168,520 Total On Hand		
\$213675 short Today		\$383,865 – 168,520
Possible Future Grant Awards		
\$ 91,485	Pending: MDNR Waterways	\$ 91,485 match if awarded
25,000	Pending: Oleson Foundation	
20,000	Future: 2% Tribal Grant	June 30, 2015 application
\$ 45,000 Total toward Match		
\$136,485 Total possible grants		
\$ 77,190 short fall with grants		\$215,345 – 136,485

5. Decisions for Board

- Is this a key Acme Parks project?
- Does Board support funding this project if no additional grants are received?
- Remember "possible" no work will be done in 2015 due to MDNR paper work/Permits Cycles
- Moneys are available in various Acme Funds fund's for \$ short falls.



Possible Funding Sources
 A = GTCRC (Residual road improvement funding)
 B = MDNR Waterways (2016 Phase 2 app.)
 C = MDNR Wat Oleson Foundation

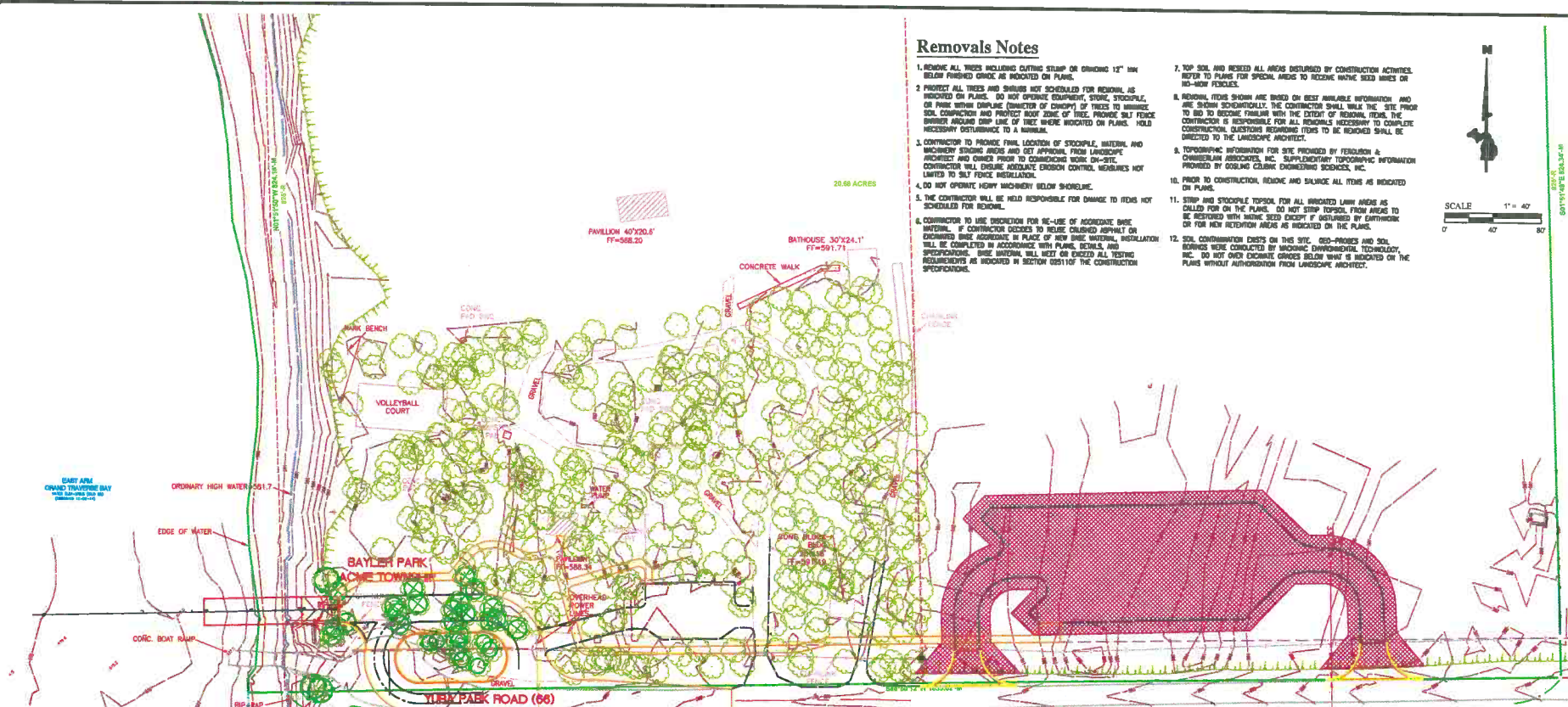
Project: Saylor Park Boat Launch (BAS Grant)
 Acme Township, Grand Traverse County, MI

Date: March 20, 2015
 Project No.: 2014390.06
 By: RMV
 Revised: May 07, 2015
 By: KDH

Comparative Preliminary Opinion of Probable Cost

Item No.	MDOT Item No.	Item Description	Estimated Quantity	Unit	Unit Price	Unit Price Ph.2	Amount Ph.1 (BAS Project)	Amount Ph.2 (future)	Possible Funding
1.0 Boat Launch									
1.1	1000001	Mobilization	0.75	LS	\$17,000.00		\$12,750.00		B
1.2	2020002	Tree, Rem, 19 inch to 36 inch	10	Ea	\$650.00		\$6,500.00		
1.3	2020004	Tree, Rem, 6 inch to 18 inch	10	Ea	\$250.00		\$2,500.00		
1.4		Concrete Ramp Removal	50	Syd	\$18.00		\$900.00		
1.5		Dredging (haul & rough grade onsite)	700	Cyd	\$25.00		\$17,500.00		
1.6		Dewatering	1	LS	\$8,500.00		\$8,500.00		
1.7		Ramp Excavation	80	Cyd	\$18.00		\$1,440.00		
1.8	2080036	Erosion Control, Silt Fence	165	Fl	\$2.00		\$330.00		
1.9	2080042	Erosion Control, Turbidity Curtain, Deep	475	Fl	\$20.00		\$9,500.00		
1.10	3020016	Aggregate Base, 6 inch	1,820	Syd	\$6.00	\$6.00	\$10,920.00		
1.11		Aggregate, 5AA	50	Cyd	\$28.00	\$50.00	\$1,400.00		
1.12	3050002	HMA Base Crushing and Shaping	1,000	Syd	\$1.50	\$1.50	\$1,500.00		
1.13	5010005	HMA Surface, Rem	100	Syd	\$5.00	\$5.00	\$500.00		
1.14	5010033	HMA, 13A	320	Ton	\$65.00	\$65.00	\$20,800.00		A
1.15		Reinforced Concrete, 8 inch	2,450	Sft	\$9.50		\$23,275.00		
1.16	7040001	Steel Sheet Piling, Permanent	3,170	Sft	\$25.00		\$79,250.00		
1.16B	7040001	Steel Sheet Piling, 15' Extensions	660	Sft	\$25.00		\$16,500.00		B
1.17	7040002	Steel Sheet Piling, Temp	484	Sft	\$16.00		\$7,744.00		
1.18		Skid Pier	1	LS	\$11,000.00		\$11,000.00		
1.19		Trench Drain	22	Fl	\$100.00		\$2,200.00		
1.20		Concrete Ramp Curb	22	Fl	\$68.00		\$1,496.00		
1.21		Storm Drain Outlet Structure	1	Ea	\$1,500.00		\$1,500.00		
1.22	8020016	Curb and Gutter, Conc, Det B2	35	Fl	\$25.00		\$875.00		
1.23		Riprap, 10-15 inch	15	Ton	\$38.00		\$570.00		
1.24		Riprap, 16-24 inch	225	Ton	\$75.00		\$16,875.00		B
1.25		Restoration	870	Syd	\$4.00		\$3,480.00		
1.26		Signage	8.00	EA	\$200.00	\$200.00	\$1,600.00		
1.27		Pavement Marking	0.50	LS	\$2,500.00	\$2,500.00	\$1,250.00		A
Boat Launch Subtotal							\$262,655.00	\$0.00	
2.0 Upland Improvements									
2.1	1000001	Mobilization	0.25	LS	\$17,000.00		\$4,250.00		
2.2	2010001	Clearing	1	Acre	\$8,500.00		\$8,500.00		
2.3	2050010	Embankment, CJP	500	Cyd	\$5.00		\$2,500.00		
2.4	2050016	Excavation, Earth	500	Cyd	\$5.00		\$2,500.00		
2.5	2080036	Erosion Control, Silt Fence	435	Fl	\$2.00		\$870.00		
2.6	3020016	Aggregate Base, 6 inch	3,030	Syd	\$6.00		\$18,180.00		
2.7	5010033	HMA, 13A	530	Ton	\$65.00	\$65.00	\$34,450.00		A
2.8	8030044	Sidewalk, Conc, 4 inch	4,890	Sft	\$5.00	\$5.00	\$24,450.00		B,C
2.9		Restoration	1,530	Syd	\$4.00		\$6,120.00		
2.10		Signage	6.00	EA	\$200.00	\$200.00	\$1,200.00		
2.11		Pavement Marking	0.20	LS	\$2,500.00	\$2,500.00	\$500.00		
Upland Improvements Subtotal							\$44,120.00	\$59,400.00	
Subtotal 1.0 & 2.0							\$306,775.00	\$59,400.00	
Contingency (10%)							\$30,677.50	\$5,940.00	
Final Engineering / CE (13%)							\$43,868.83	\$9,801.00	
Total							\$381,322.00	\$75,141.00	

Work Category Description	2015 GCES OPC	2008 GFA Option B
Site Demo and Tree Removal	\$17,500	\$8,500
Upland Grading	\$6,440	\$8,400
Dredging	\$17,500	\$32,500
21AA gravel/parking	\$31,300	\$17,000
Area 4 Stone	\$1,970	\$6,600
Temporary Cofferdam	\$7,744	\$22,000
Cast-in-place ramp	\$24,771	\$28,125
Skid Pier	\$11,000	\$6,500
Parking Wheel Stops	\$1,250	\$1,250
Restoration	\$9,600	\$6,000
Subtotal	\$129,075	\$136,875
10% contingency	\$12,908	\$13,688
Final Engineering / CE / Admin.	\$18,458	\$12,900
12.5% inflation over 2008 est.		\$20,433
Signage	\$2,600	\$5,000
Total	\$163,240	\$188,895
Item must be added 2015 Additional Recommendations		
X De-watering	\$8,500	not included
X Erosion Control (permit items)	\$10,700.00	not included
X Storm drain outlet structure	\$1,500.00	not included
X Steel Sheet piling (permanent)	\$79,250.00	not included
X Rip-Rap around sheet piling	\$16,375.00	not included
X Old Ramp Removal/Disposal	\$900.00	not included
X Mobilization	\$17,000.00	not included
X Concrete Curb & Gutter	\$875.00	not included
X HMA Paving	\$22,800.00	not included
X Pavement Markings	\$1,250.00	not included
X Steel Sheet piling (15' (x2) extendec	\$16,500.00	not included
Subtotal	\$176,150	
10% contingency	\$17,615	
Final Engineering / CE / Admin.	\$25,189	
Total	\$218,954	
Grand Total*		
= Not including HMA paving, sidewalk, prmt markings		
X Total (Items must be added)	39,475	
ADD \$10K to temp cofferdam if full sheet pile launch is not opted.	8,000	
10% contingency	\$4,748	
Final Engineering / CE / Admin.	\$7,121	
Additional Funding Needed	\$59,344	



Removals Notes

- REMOVE ALL TREES INCLUDING CUTTING STUMP OR GRINDING 12" MIN BELOW FINISHED GRADE AS INDICATED ON PLANS.
- PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL AS INDICATED ON PLANS. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN (MINIMUM DIAMETER OF CANOPY) OF TREES TO MINIMIZE SOIL COMPACTION AND PROTECT ROOT ZONE OF TREE. PROVIDE SELF FENCE WITHIN AROUND CANOPY LINE OF TREE WHERE INDICATED ON PLANS. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
- CONTRACTOR TO PROVIDE FINAL LOCATION OF STOCKPILE, MATERIAL AND MISCHIEVOUS STORAGE AREAS AND GET APPROVAL FROM LANDSCAPE ARCHITECT AND OWNER PRIOR TO COMMENCING WORK ON-SITE. CONTRACTOR WILL ENSURE ADEQUATE EROSION CONTROL MEASURES NOT LIMITED TO SELF FENCE INSTALLATION.
- DO NOT OPERATE HEAVY MACHINERY BELOW SHORELINE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL.
- CONTRACTOR TO USE DISCRETION FOR RE-USE OF ADEQUATE BRINE MATERIAL. IF CONTRACTOR DECIDES TO REUSE CRUSHED ASPHALT OR EXISTING BRINE ADEQUATE IN PLACE OF NEW BRINE MATERIAL, INSTALLATION WILL BE COMPLETED IN ACCORDANCE WITH PLANS, DETAILS, AND SPECIFICATIONS. BRINE MATERIAL WILL NOT BE EXCEED ALL TESTING REQUIREMENTS AS INDICATED IN SECTION 02511 OF THE CONSTRUCTION SPECIFICATIONS.
- TOP SOIL AND RESEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES. REFER TO PLANS FOR SPECIAL MEAS TO RESEED WATHE SEED MIXES OR 10-10W FERTILIZERS.
- REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL WALK THE SITE PRIOR TO BID TO BECOME FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- TOPOGRAPHIC INFORMATION FOR SITE PROVIDED BY FERGUSON & CHAMBERLAIN ASSOCIATES, INC. SUPPLEMENTARY TOPOGRAPHIC INFORMATION PROVIDED BY COSLING CAULING ENGINEERING SCIENCES, INC.
- PRIOR TO CONSTRUCTION, REMOVE AND SALVAGE ALL ITEMS AS INDICATED ON PLANS.
- STRIP AND STOCKPILE TOPSOIL FOR ALL INDICATED LAWN AREAS AS CALLED FOR ON THE PLANS. DO NOT STRIP TOPSOIL FROM AREAS TO BE RESEED WITH MIXED SEED EXCEPT IF INDICATED BY ENVIRONMENT OR FOR NEW RESEEDING AREAS AS INDICATED ON THE PLANS.
- SOIL CONTAMINATION TESTS ON THIS SITE. GEO-PROBES AND SOIL BORINGS WERE CONDUCTED BY MICHIGAN ENVIRONMENTAL TECHNOLOGY, INC. DO NOT OPEN EXISTING GRIDES BELOW WHAT IS INDICATED ON THE PLANS WITHOUT AUTHORIZATION FROM LANDSCAPE ARCHITECT.



Removals Legend

	REMOVE EXISTING CONCRETE		EXISTING MONITOR WELL		EXISTING CURB STOP BOX
	CRUSH AND SHOVE EX ASPHALT REMOVE MSC (AS NOTED ON REMOVAL PLANS)		EXISTING GAS METER		EXISTING FIRE HYDRANT
	REMOVE EX GRAVEL / ASPHALT DRIVEWAY		EXISTING GAS VALVE		EXISTING GATE VALVE
	DREDGE EX SAND		EXISTING CATCH BASIN - ROUND		EXISTING GATE WELL (MANHOLE)
	MISCELLANEOUS REMOVALS		EXISTING GATED BASIN - SQUARE		EXISTING WATER WELL
	SAVE AND PROTECT EXISTING TREES		EXISTING FLARED END SECTION		EXISTING CONFEROUS SHRUB
	SAVE AND PROTECT EXISTING TREES, INSTALL TEMPORARY PROTECTIVE FENCING AROUND DRUMLINE PERIMETER OF TREE		EXISTING AIR CONDITIONER		EXISTING CONFEROUS TREE
	REMOVE EXISTING TREE		EXISTING ANTENNA		EXISTING DECIDUOUS SHRUB
	REMOVE EXISTING VEGETATION AS APPROVED BY LANDSCAPE ARCHITECT		EXISTING BALCONY		EXISTING DECIDUOUS TREE
	SOIL BORING LOCATION (SEE SPECIFICATIONS APPENDICES)		EXISTING FIRE CALL		EXISTING BUILDING
			EXISTING FILL POLE		EXISTING CONFEROUS TREE LINE
			EXISTING FLAG POLE		EXISTING DECIDUOUS TREE LINE
			EXISTING GAS PUMP		EXISTING FENCE
			EXISTING IRRIGATION BOX		EXISTING GUAN DIAL
			EXISTING MAIL BOX		EXISTING CABLE TV - OVERHEAD
			EXISTING PAINT BOX		EXISTING CABLE TV - UNDERGROUND
			EXISTING CABLE TV PEDESTAL		EXISTING ELECTRIC - OVERHEAD
			EXISTING UTILITY POLE		EXISTING ELECTRIC - UNDERGROUND
			EXISTING ELECTRIC HAND HOLE		EXISTING GAS
			EXISTING MANKOLE (AS NOTED)		EXISTING OIL
			EXISTING ELECTRIC METER		EXISTING STORM SEWER
			EXISTING ELECTRIC PEDISTAL		EXISTING SANITARY SEWER
			EXISTING ELECTRIC TRANSFORMER		EXISTING SANITARY SEWER FORCE MAIN
			EXISTING GUY ANCHOR		EXISTING TELEPHONE - OVERHEAD
			EXISTING GUY POLE		EXISTING TELEPHONE - UNDERGROUND
			EXISTING LIGHT POLE		EXISTING WATERMAIN
			EXISTING TELEPHONE PEDESTAL		
			EXISTING UNDERGROUND MARKER		

EXISTING CONDITIONS / REMOVALS PLAN
SCALE: 1" = 40'

811 Know what's below. Call before you dig.

THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, IS APPROXIMATE TO ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY 811 PRIOR TO THE START OF CONSTRUCTION.

EXISTING CONDITIONS & REMOVALS
Sawyer Park Boat Launch Site
Acme Township, Grand Traverse Co., MI

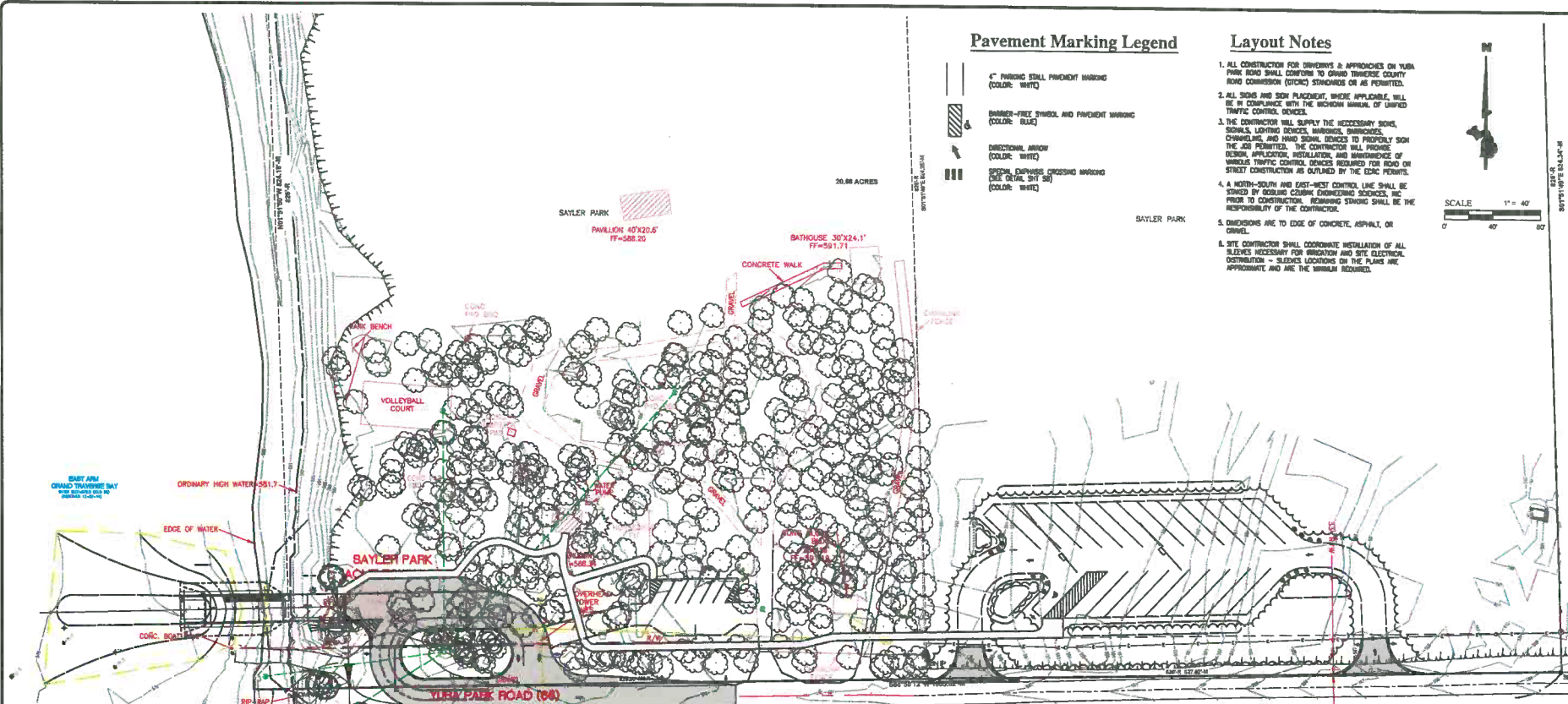
Project No: 2114345.K
Sheet: 04

Pavement Marking Legend

- 4" PARKING STALL PAVEMENT MARKING (COLOR: WHITE)
- BARBER-REEF SYMBOL AND PAVEMENT MARKING (COLOR: BLUE)
- DIRECTIONAL ARROW (COLOR: WHITE)
- SPECIAL CURBWISE CROSSING MARKING (SEE DETAIL SHY 50) (COLOR: WHITE)

Layout Notes

1. ALL CONSTRUCTION FOR DRIVEWAYS & APPROACHES ON YURK PARK ROAD SHALL CONFORM TO GRAND TRAVERSE COUNTY ROAD COMMISSION (GTRC) STANDARDS OR AS PERMITTED.
2. ALL SIGNS AND SIGN PLACEMENT, WHERE APPLICABLE, WILL BE IN COMPLIANCE WITH THE MINIMUM MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
3. THE CONTRACTOR WILL SUPPLY THE NECESSARY SIGNS, SIGNALS, LIGHTING DEVICES, MARKINGS, BARRICADES, CHANNELS, AND ROAD SIGNAL DEVICES TO PROPERLY SIGN THE JOB PERMITTED. THE CONTRACTOR WILL PROVIDE DESIGN, APPLICATION, INSTALLATION, AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES REQUIRED FOR ROAD OR STREET CONSTRUCTION AS OUTLINED BY THE GTRC PERMITS.
4. A NORTH-SOUTH AND EAST-WEST CONTROL LINE SHALL BE STAKED BY ROSSIGNO CRASH ENGINEERING SCIENCES, INC. PRIOR TO CONSTRUCTION. REMAINING STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. DIMENSIONS ARE TO EDGE OF CONCRETE, ASPHALT, OR CURB.
6. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SLEEVES NECESSARY FOR MONITORING AND SITE ELECTRICAL DISTRIBUTION - SLEEVES LOCATIONS ON THE PLANS ARE APPROXIMATE AND ARE THE MINIMUM REQUIRED.



Surfacing Symbol Legend

- CONCRETE PAVING
- ASPHALT PAVING
- CONCRETE FINISHES
- LIU E20-STONE CONCRETE FINISHES
- TURFSTONE CONCRETE FINISHES
- BOUCH SAND
- WOOD REMOVAL / DECK
- GRAVEL PAVING (234)

LEGEND

- | | | |
|---|---|--|
| <ul style="list-style-type: none"> ◆ BENCHMARK FOUND ◇ BENCHMARK SET ● CHISELED 3" FOUND ● CHISELED 3" SET ○ GPE MONUMENT ○ HUB FOUND □ HUB SET ○ IRON FOUND ○ IRON SET ○ LATH FOUND ○ LATH SET ○ MONUMENT FOUND ○ MONUMENT SET ▲ PENAL FOUND ▲ PENAL SET ○ SECTION CORNER ○ EXISTING CABLE TV PEDESTAL ○ EXISTING UTILITY POLE ○ EXISTING ELECTRIC HAND HOLE ○ EXISTING MANHOLE (AS NOTED) ○ EXISTING ELECTRIC METER ○ EXISTING ELECTRIC PEDESTAL ○ EXISTING ELECTRIC TRANSFORMER ○ EXISTING GUY ANCHOR ○ EXISTING GUY POLE ○ EXISTING LIGHT POLE ○ EXISTING TELEPHONE PEDESTAL | <ul style="list-style-type: none"> ○ EXISTING MONITOR WELL ○ EXISTING GAS METER ○ EXISTING GAS VALVE ○ EXISTING CATCH BASIN - R/LIND ○ EXISTING CATCH BASIN - SQUARE ○ EXISTING FLARED END EXHOSION ○ EXISTING AIR CONDITIONER ○ EXISTING ANTENNA ○ EXISTING BELLOARD ○ EXISTING FIRE CALL ○ EXISTING FILL PORT ○ EXISTING FLAG POLE ○ EXISTING GAS RAMP ○ EXISTING IRRIGATION BOX ○ EXISTING MAIL BOX ○ EXISTING PAPER BOX ○ EXISTING POLICE CALL ○ EXISTING PHONE BOOTH ○ EXISTING PARKING METER ○ EXISTING PORT ○ EXISTING ROCK ○ EXISTING SATELLITE DISH ○ EXISTING SIGN ○ EXISTING SPRINKLER HEAD ○ EXISTING STAKE ○ EXISTING TRAFFIC LIGHT ○ EXISTING UNDERGROUND MARKER | <ul style="list-style-type: none"> ○ EXISTING CURB STOP BOX ○ EXISTING FIRE HYDRANT ○ EXISTING GATE VALVE ○ EXISTING GATE WELL (MANHOLE) ○ EXISTING WATER WELL ○ EXISTING CONFERENTIAL SHRUB ○ EXISTING CONIFEROUS TREE ○ EXISTING DECIDUOUS SHRUB ○ EXISTING DECIDUOUS TREE ○ EXISTING BUILDING ○ EXISTING CONIFEROUS TREE LINE ○ EXISTING DECIDUOUS TREE LINE ○ EXISTING FENCE ○ EXISTING QUADRANT ○ EXISTING CABLE TV - OVERHEAD ○ EXISTING CABLE TV - UNDERGROUND ○ EXISTING ELECTRIC - OVERHEAD ○ EXISTING ELECTRIC - UNDERGROUND ○ EXISTING GAS ○ EXISTING OIL ○ EXISTING STORM SEWER ○ EXISTING SANITARY SEWER ○ EXISTING SANITARY SEWER FORCE MAIN ○ EXISTING TELEPHONE - OVERHEAD ○ EXISTING TELEPHONE - UNDERGROUND ○ EXISTING WATERMAIN |
|---|---|--|

OVERALL IMPROVEMENTS PLAN
Saylor Park Boat Launch Site
 Acme Township, Grand Traverse Co., MI

Project No. 2014.390.06
 Sheet 52

Date: 10/01/15
 Scale: AS NOTED
 Drawn By: CAP
 Checked By: CAP
 Design: J.T.D.
 Project: 15-015
 Revision: 1

Engineer: J. T. DeWitt
 Environmental: J. T. DeWitt
 Surveyor: J. T. DeWitt
 Landscaper: J. T. DeWitt
 Architect: J. T. DeWitt

Launch Channel Dredging Legend

- 573.0 BOTTOM ELEVATION AND DEPTH BELOW WATER (CONSTRUCTIVE SHOT BY JOSLINE COLLINS ENGINEERING SERVICES, INC. 12-02-14)
- EXISTING SHORELINE (12-02-14)
- SOIL SAMPLE FOR SOIL ANALYSIS (ONION 12-02-14 / ANALYZED 12/21/14)
- RIP-RAP WEIR
- TEMPORARY FLOATING TURBIDITY BARRIER
- DREDGING AREA (TARGET BOTTOM ELEV. — APPROX. — CYCLES)
- DESIGNATED UPLAND DESIGNATED DREDGE SPILLS LOADING AREAS
- ONSITE AND OFFSITE UPLAND DOWNTOWNING AND DISPOSAL AREAS
- TEMPORARY RETENTION BARRIAGE LOCATION (AS DETERMINED BY CONTRACTOR AND APPROVED BY OWNER AND OTHER REP AND PERMITTING AGENCIES)

EAST ARM GRAND TRAVERSE BAY
WATER ELEV.=578.5 (OLD 85)
(OBSERVED 12-02-14)

Dredging Notes

1. DREDGE SIDE SLOPE NOT TO EXCEED 2.5:1. SLOPE PLACE TURBIDITY FENCE A MINIMUM OF 10' OUTSIDE THE ANTICIPATED DREDGING LIMITS.
2. COMPLY WITH ALL PART 325 RULES AND WOOD JOINT POINT REQUIREMENTS.
3. RESPONSE OF SPILL MATERIAL AT DESIGNATED UPLAND OF BEACH HOUSEHOLD SITES AS SPECIFIED IN THE WOOD JOINT POINT AND AS DIRECTED BY THE OWNER AND OWNER'S REPRESENTATIVE.
4. NOTE: ALL SPILL ELEVATIONS ARE BASED ON OLD 85 DATUM.

Grading Notes

1. A NORTH-SOUTH AND EAST-WEST CONTROL LINE SHALL BE STAKED BY QUALIFIED SURVEYING ENGINEERING SERVICES, INC. PRIOR TO CONSTRUCTION. REMAINING STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. SURFACE WATER ELEVATIONS OF LAKE MICHIGAN (EAST ARM OLD 85): OBSERVED WATER ELEV. = 579.5 (OLD 85) 12-02-14
3. ELEVATIONS SHOWN ARE BASED ON OLD 85
4. INSTALL WALCH BLANKET ON ALL SLOPE GREATER THAN 2:1
5. METALL WALCH BLANKET IN DETENTION BASINS AND BOTTLING COORDINATE SECTIONS AND LANDSCAPING WITH INSTALLATION OF BLANKET.
6. POINT ELEVATIONS IN PARKING LOT AND BOAT LAUNCH ARE FINISHED GRADE OF ASPHALT UNLESS OTHERWISE NOTED. ALL REMAINING POINT ELEVATIONS THAT DO NOT HAVE AN ABBREVIATED NOTATION ARE FINISHED GRADE OF CONCRETE.
7. FINISH OF SOIL SURFACE OF CLEAR BEACH SAND FOR ALL AREAS THAT ARE TO RECEIVE BLANKET GRASS.
8. YUBA PARK ROAD GRADING IS PRIMARILY A CRUSH AND SHAPE. MINIMAL GRADE CHANGES ARE INDICATED ON SPOT ELEVATIONS - REFER TO THE TYPICAL ROAD CROSS-SECTION ON SHEET 5.
9. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SLEEVES NECESSARY FOR IRRIGATION AND SITE ELECTRICAL DISTRIBUTION - SLEEVES LOCATIONS ON THE PLANS ARE APPROXIMATE AND ARE THE MINIMUM REQUIRED.

Grading Legend

- HP HIGH POINT
- LP LOW POINT
- TW TOP OF WALL
- BTW BOTTOM OF WALL
- TS TOP OF STAIR
- BS BOTTOM OF STAIR
- TD TOP OF DECK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- DIRECTION OF SLOPE
- PROPERTY LINE
- PROPOSED DRAINAGE DIRECTION & GRADIENT
- PROPOSED SURFACE WATER DRAINAGE DIRECTION
- PROPOSED CULVERT W/ END SECTIONS
- GRADE BREAK
- SLOPE RELEASE STRUCTURE
- PROPOSED RIP-RAP / ROCK SPILLWAY

SCALE 1" = 20'



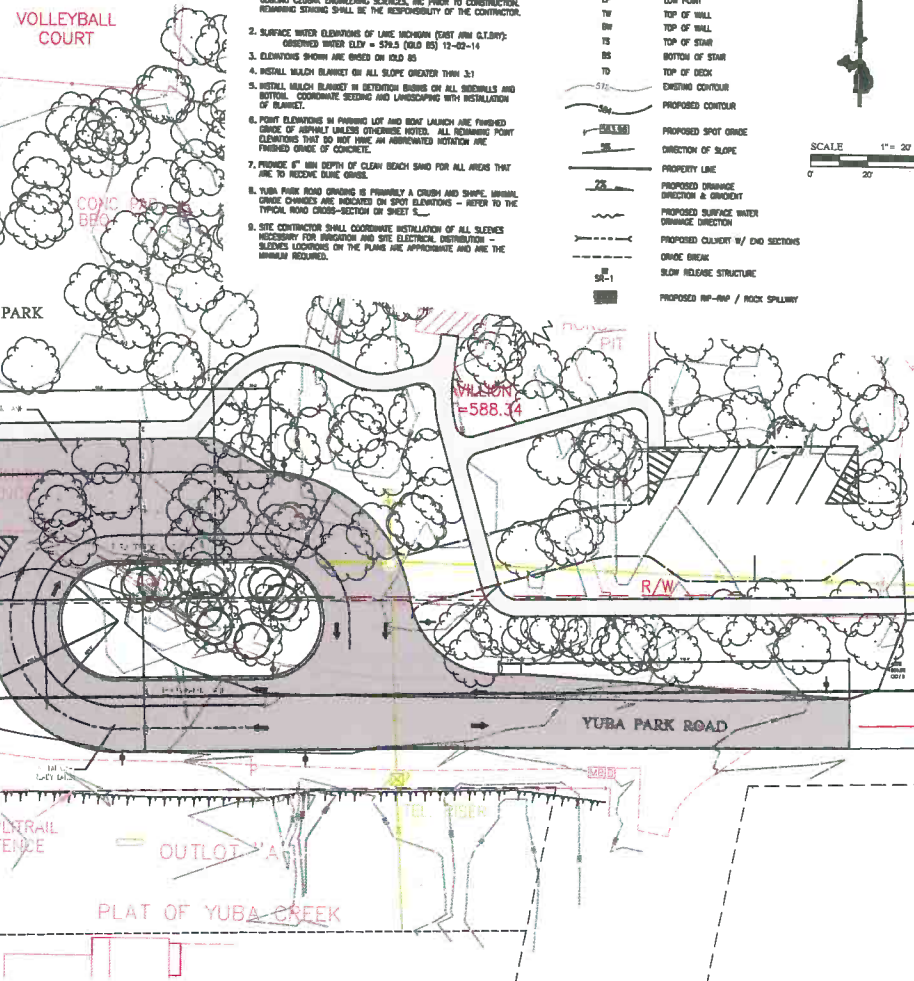
Engineering & Construction Services, Inc.
10000 Grand Traverse Ave., Suite 100
Acme, Michigan 49612
Tel: 269-468-1100
Fax: 269-468-1101
www.ecsinc.com

Drawn By: PCC
Checked By: CAP
Date: 01-08-16
Scale: AS NOTED

Location: Boat Launch, Section 13, Twp. N, R. W. Acme Township, Grand Traverse Co., MI

BOAT LAUNCH LAYOUT AND GRADING
Saylor Park Boat Launch Site
Acme Township, Grand Traverse Co., MI

Project No. 2014390.06
Sheet 53



BOAT LAUNCH LAYOUT AND GRADING PLAN
SCALE 1" = 20'

General Legend

- PROJECT LIMITS
- EDGE OF WATER
- EX EDGE OF GRAVEL
- EX EDGE OF CONCRETE
- EX OVERHEAD ELECTRIC
- EX CONCRETE CURB
- EX WOOD BOLLARD
- EX CONIFEROUS TREE
- EX DECIDUOUS TREE
- PROPOSED EDGE OF ASPHALT/CONCRETE
- PROPOSED EDGE OF GRAVEL
- PROPOSED BOLLARD / WOOD POST
- PROPOSED RIP-RAP / ROCK SPILLWAY
- PROPOSED LIGHT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SLOPE
- PROPOSED WALL
- PROPOSED BOLLARD

BOAT LAUNCH CHANNEL BOTTOM LANDS LEASE DESCRIPTION "C"
A PARCEL OF LAKE MICHIGAN BOTTOM LAND BEING A PART OF SECTION 13, TWP. N, R. W. ACME TOWNSHIP - GRAND TRAVERSE COUNTY, MICHIGAN, DESCRIBED AS COMING AT THE...

(ADD bottomlands lease description fr. Twp.)

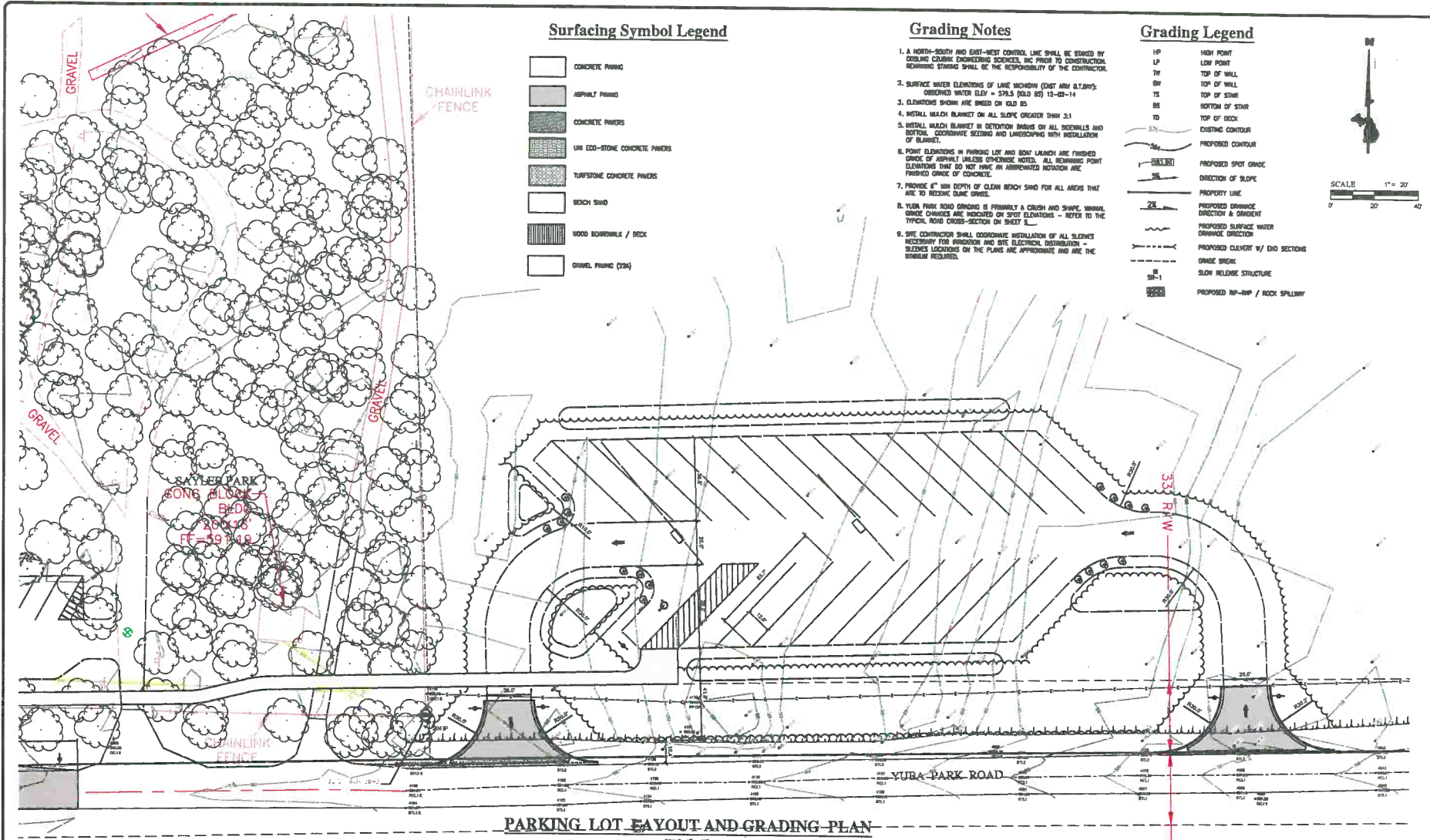
BENCHMARKS

- BM-4 (BENCH MARK) TOP OF CONIC MONUMENT W/ CORNER OF YUBA CREEK PLAT ELEV.=582.52 (OLD 85)
- BM-8 (BENCH MARK) AT END OF FENCE, NORTH SIDE OF YUBA PARK, REL. ROW ELEV.=587.58 (OLD 85)

- SOIL EROSION & SEDIMENTATION CONTROL MEASURES CONTROL MEASURES PER MICHIGAN UNIFIED SETTING SYSTEM**
- 1 VEGETATIVE STABILIZATION (EROSION MATING)
 - 2 HYDROSEEDING (TURF GRASS & NATIVE SEED)
 - 18 CURB & CUTLER
 - 54 SILT FENCE



THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SUPERVISOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INTERFERENCE FROM THE LOCATION BIDDING. THE CONTRACTOR SHALL NOTIFY 8888 DWP AT 1-800-485-7371 OR 313-788-0100 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.



PARKING LOT LAYOUT AND GRADING PLAN
SCALE: 1" = 20'

Surfacing Symbol Legend

	CONCRETE PAVING
	ASPHALT PAVING
	CONCRETE PAVERS
	LIM. COO-STONE CONCRETE PAVERS
	TURFSTONE CONCRETE PAVERS
	BEACH SAND
	WOOD BOARDWALK / DECK
	GRAVEL PAVING (22A)

Grading Notes

- A NORTH-SOUTH AND EAST-WEST CONTROL LINE SHALL BE STAKED BY GEOLING CONSULTING ENGINEERING SERVICES, INC. PRIOR TO CONSTRUCTION. REMAINING STAKES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SURFACE WATER ELEVATIONS OF LAKE WICHOWAN (EAST ARM 0.7.2017): OBSERVED WATER ELEV = 579.5 (OLD 85) 12-02-14
- ELEVATIONS SHOWN ARE BASED ON OLD 85
- INSTALL MESH BLANKET ON ALL SLOPE GREATER THAN 2:1
- INSTALL MESH BLANKET IN DETENTION BASINS ON ALL SIDEWALKS AND SLOTTED CONCRETE SIDING AND LANDSCAPING WITH VEGETATION OF BLANKET.
- POINT ELEVATIONS IN PARKING LOT AND BOAT LAUNCH ARE FINISHED GRADE OF ASPHALT UNLESS OTHERWISE NOTED. ALL REMAINING POINT ELEVATIONS THAT DO NOT HAVE AN ABREVIATED NOTATION ARE FINISHED GRADE OF CONCRETE.
- PROVIDE 4" MIN DEPTH OF CLEAN BEACH SAND FOR ALL AREAS THAT ARE TO RECEIVE CLEAN GRAVEL.
- YUBA PARK ROAD GRADING IS PRIMARILY A CRUSH AND SHAPE. MINIMAL GRADE CHANGES ARE INDICATED ON SPOT ELEVATIONS - REFER TO THE TYPICAL ROAD CROSS-SECTION ON SHEET 2.
- SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SLEEVES NECESSARY FOR IRRIGATION AND SITE ELECTRICAL DISTRIBUTION - SLEEVES LOCATIONS ON THE PLANS ARE APPROXIMATE AND ARE THE MINIMUM REQUIRED.

Grading Legend

	HIGH POINT
	LOW POINT
	TOP OF HILL
	TOP OF WALL
	TOP OF SLOPE
	BOTTOM OF SLOPE
	TOP OF DECK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	DIRECTION OF SLOPE
	PROPERTY LINE
	PROPOSED DRAINAGE DIRECTION & GRADIENT
	PROPOSED SURFACE WATER DRAINAGE DIRECTION
	PROPOSED CULVERT W/ END SECTIONS
	GRADE BREAK
	SLOW RELEASE STRUCTURE
	PROPOSED RIP-RAP / ROCK SPILLWAY



811 Know what's below. Call before you dig.

THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE INVENTOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY 811 OR AT 1-800-452-7135 OR 811 THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

	PROJECT LIMITS
	EDGE OF WATER
	EX EDGE OF GRAVEL
	EX EDGE OF CONCRETE
	EX OVERHEAD ELECTRIC
	EX CONCRETE CURB
	EX WOOD BOLLARD

General Legend

	EX CONIFEROUS TREE		PROPOSED RIP-RAP / ROCK SPILLWAY
	EX DECIDUOUS TREE		PROPOSED LIGHT
	PROPOSED EDGE OF ASPHALT/CONCRETE		EXISTING CONTOUR
	PROPOSED EDGE OF GRAVEL		PROPOSED CONTOUR
	PROPOSED BOLLARD / WOOD POST		PROPOSED SLEDGE
			PROPOSED WALL
			PROPOSED BOLLARD

Pavement Marking Legend

	PARKING STALL PAVEMENT MARKING (COLOR: WHITE)
	BUMPER-FREE SYMBOL AND PAVEMENT MARKING (COLOR: BLACK)
	DIRECTIONAL ARROW (COLOR: WHITE)
	SPECIAL EMPHASIS CROSSING MARKING (SEE SECTION 307.10) (COLOR: WHITE)

BENCHMARKS

BM-A (BENCH MARK)
TOP OF CONG. MONUMENT
NW CORNER OF YUBA CHECK PLAT
ELEV=582.22 (OLD 85)

BM-B (BENCH MARK)
TOP OF CONG. MONUMENT
AT END OF FENCE, NORTH
SIDE OF YUBA PARK RD. ROW
ELEV=587.28 (OLD 85)

	SOIL EROSION & SEDIMENTATION CONTROL MEASURES CONTROL MEASURES
	PEX MICHIGAN UNIFIED RETING SYSTEM
	VEGETATIVE STABILIZATION EROSION MATTING
	HYDROSEEDING (TURF GRASS & NATIVE SEED)
	CURB & GUTTER
	SILT FENCE

Geotronics
10000 Grand Traverse Ave., Suite 100
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Drawn By: PCC
Checked By: CJP
Date: 01-08-15
Scale: AS NOTED

Location: Sayler Park Boat Launch, Grand Traverse Co., MI
SECTION 34, 20N, 12.50E, 15.00N
Acme Township, Grand Traverse Co., MI

PARKING LOT LAYOUT AND GRADING
Sayler Park Boat Launch Site
Acme Township, Grand Traverse Co., MI

Project No:
2014-380-06
Sheet
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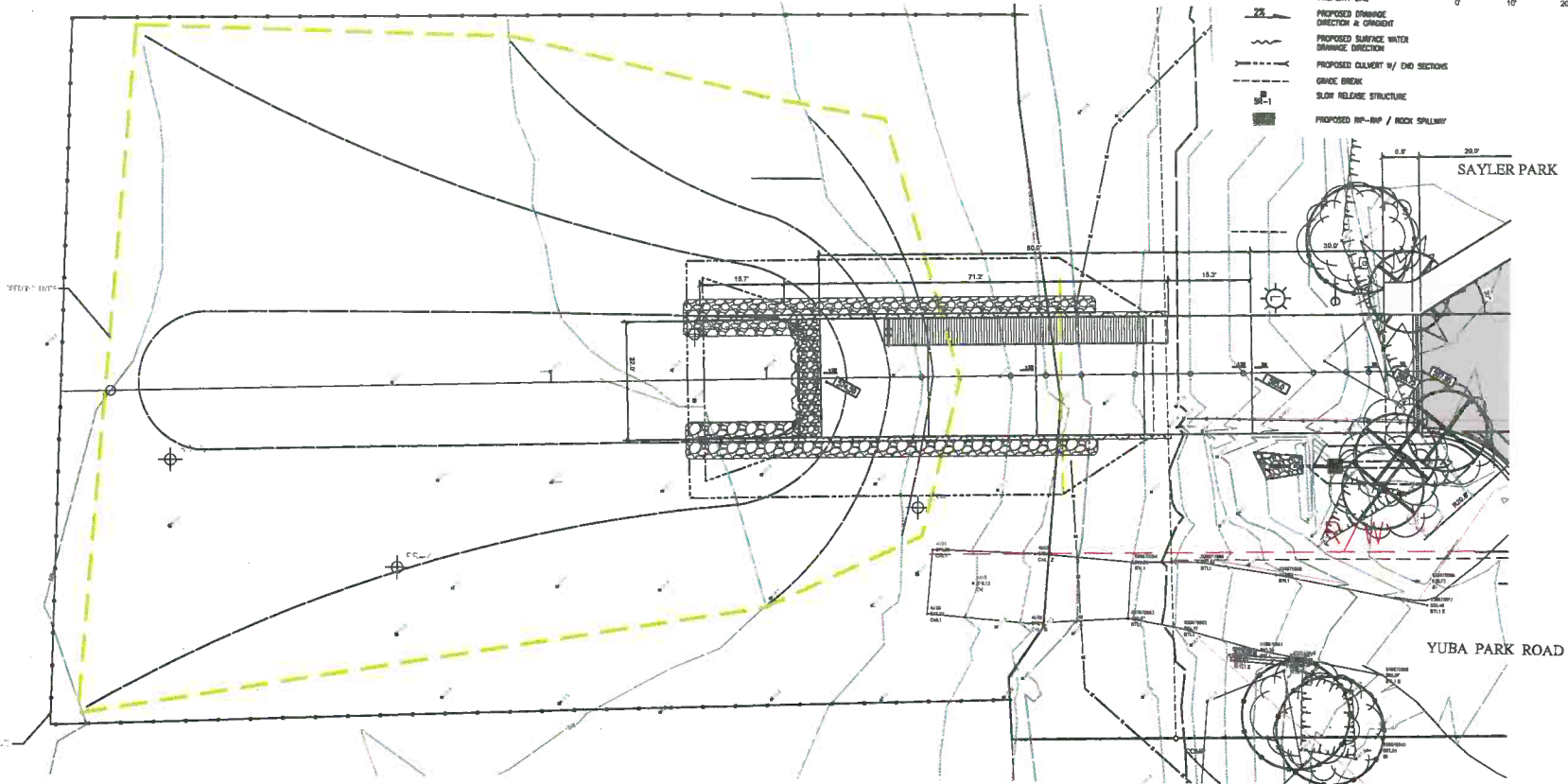
Launch Channel Dredging Legend

- 373.6 BOTTOM ELEVATION AND DEPTH BELOW WATER (CONTINUED) SHOWN BY DASHED GREEN ENGINEERING SCHEMATIC (12-02-14)
- EXISTING SHORELINE (12-02-14)
- SOIL SAMPLE FOR SOIL ANALYSIS (UNDER 12-02-14 / ANALYZED 12/21/14)
- RP-RIP WER
- TEMPORARY FLOATING TURBIDITY BARRIER
- DREDGING AREA (TARGET BOTTOM ELEV. - APPROX. CYCLES)
- DESIGNATED UPLAND CONTAINED DREDGE SPOILS LOADING AREAS
- ON-SITE AND OFF-SITE UPLAND DREDGING AND DISPOSAL AREAS
- TEMPORARY RETENTION BERM LOCATION (AS DETERMINED BY CONTRACTOR AND APPROVED BY OWNER AND OWNER REP AND PERMITTING AGENCIES)

1. DREDGE SIDE SLOPE NOT TO EXCEED 3.5:1 SLOPE. PLACE TURBIDITY FENCE A MINIMUM OF 10' OUTSIDE THE ANTICIPATED DREDGING LIMITS.
2. COMPLY WITH ALL PART 325 RULES AND MEET JOINT PERMIT REQUIREMENTS.
3. DEPOSE OF SPOIL MATERIAL AT DESIGNATED UPLAND OR BEACH REDEMPTION SITES AS SPECIFIED IN THE MOOD JOINT POINT AND AS DIRECTED BY THE OWNER AND OWNER'S REPRESENTATIVE.
4. NOTE: ALL SPOT ELEVATIONS ARE BASED ON ICD'S DATA.

Grading Legend

- HP HIGH POINT
- LP LOW POINT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF STAIR
- BS BOTTOM OF STAIR
- TO TOP OF DECK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT DRIVE
- DIRECTION OF SLOPE
- PROPERTY LINE
- PROPOSED DRAINAGE DIRECTION & CHANNEL
- PROPOSED SURFACE WATER DRAINAGE DIRECTION
- PROPOSED DRAINAGE W/ D/D SECTIONS
- GRADE BREAK
- SLOPE RELEASE STRUCTURE
- PROPOSED RP-RIP / ROCK SPALLWAY



BOAT LAUNCH ENLARGEMENT PLAN

SCALE 1" = 10'

811 Know what's below. Call before you dig.

THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY 811 OR AT 1-800-482-9111 OR 811 TOLES BY WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

- | | | |
|--------------------------|-----------------------------------|---------------------------------|
| --- PROJECT LIMITS | EX CONIFEROUS TREE | PROPOSED RP-RIP / ROCK SPALLWAY |
| --- EDGE OF WATER | EX DECIDUOUS TREE | PROPOSED LIGHT |
| --- EX EDGE OF CONCRETE | PROPOSED EDGE OF ASPHALT/CONCRETE | EXISTING CONTOUR |
| --- EX OVERHEAD ELECTRIC | PROPOSED EDGE OF GRASS | PROPOSED CONTOUR |
| --- EX CONCRETE CURB | PROPOSED BOLLARD / WOOD POST | PROPOSED SLEEVE |
| • EX WOOD BOLLARD | | PROPOSED WALL |
| | | PROPOSED BOLLARD |

BOAT LAUNCH CHANNEL BOTTOM LIMITS LEASE DESCRIPTION "C"
 A PARCEL OF LAND IN SECTION 13, T28N, R10W, ACME TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE...

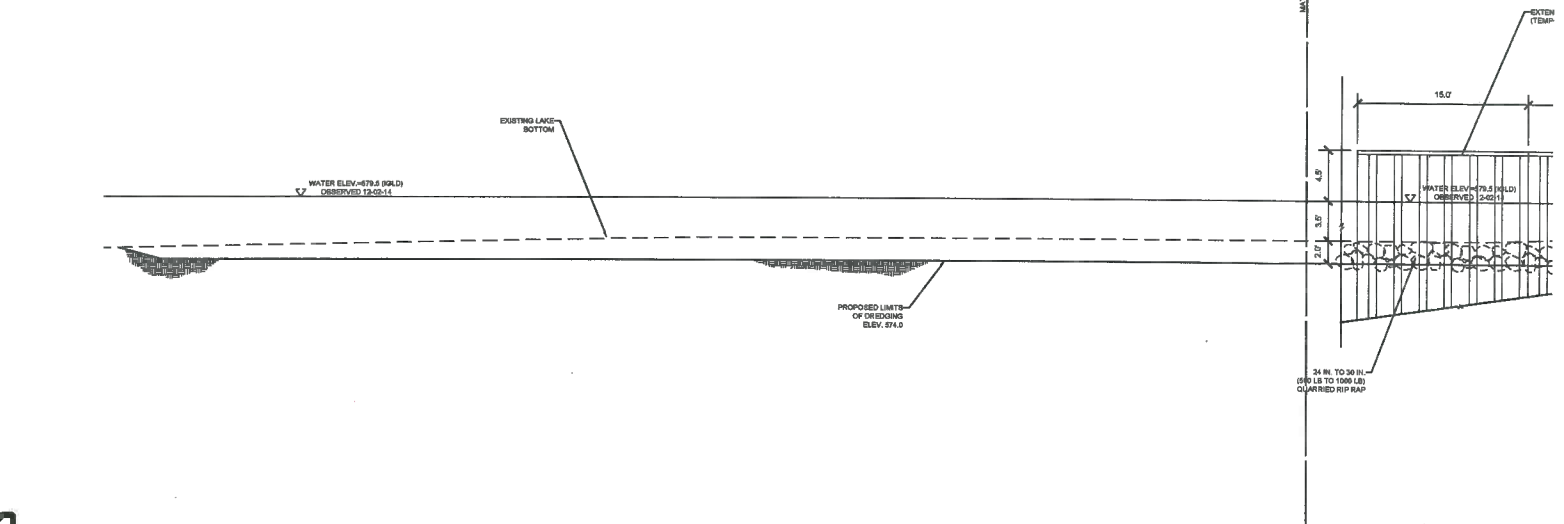
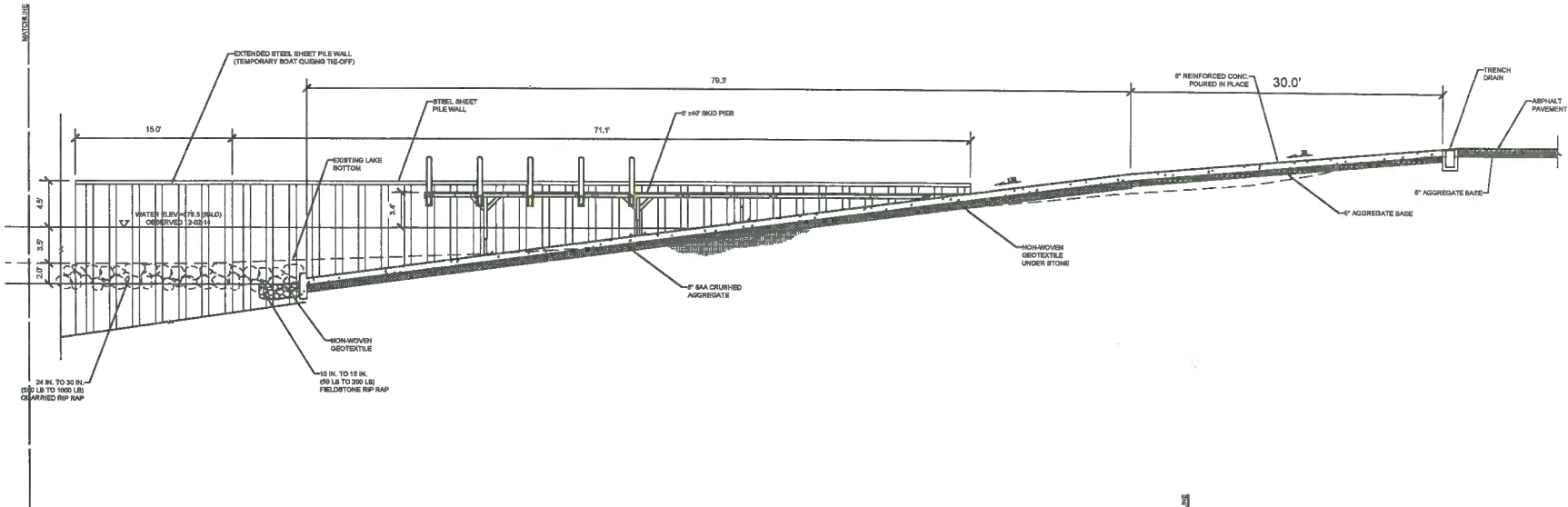
(ADD bottomlands lease description fr. Twp.)

BENCHMARKS

- BM-4 (BENCH MARK) TOP OF CONCRETE MONUMENT NW CORNER OF YUBA CREEK PLAT ELEV=983.22 (OLD IS)
- BM-8 (BENCH MARK) TOP OF CONCRETE MONUMENT AT END OF FENCE, NORTH SIDE OF YUBA PARK RD. ROW ELEV=987.50 (OLD IS)

- SOIL EROSION & SEDIMENTATION CONTROL MEASURES CONTROL MEASURES FOR HIGHWAY IMPAIRED DRAINAGE SYSTEM**
- 1 VEGETATIVE STABILIZATION (TURF GRASS & NATIVE SEED)
 - 2 HYDROSEEDING (TURF GRASS & NATIVE SEED)
 - 3 CURB & GUTTER
 - 4 SILT FENCE

BOAT LAUNCH ENLARGEMENT PLAN
 Saylor Park Boat Launch Site
 Acme Township, Grand Traverse Co., MI
 Project No. 2014390.06
 Sheet 55



BOAT LAUNCH SECTION A-A
SCALE: 1" = 5'

811 Know what's below.
Call before you dig.

THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY 8888 DWP AT 1-800-452-7171 OR TEL THESE 24 HOURS DAILY PRIOR TO THE START OF CONSTRUCTION.

Engineer
Environmental
Architect

Walter
1800 W. GRAND AVENUE
ANN ARBOR, MI 48106-1500
PH: 734-769-1000
WWW.WALTER.COM

Project No.
2014-050.06

Drawn By: C.P.
Checked By: C.P.
Date: 06-15-15
Scale: AS NOTED

Location:
Saylor Park Boat Launch, 1/4 Mile S.W. of
SECTION 13, T. 28 N., R. 13 W.,
Acme Township, Grand Traverse Co., MI

BOAT LAUNCH SECTION
Saylor Park Boat Launch Site
Acme Township, Grand Traverse Co., MI

Project No.
2014-050.06

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